

HUNTERS CREEK WAY RESIDENCE

1043 HUNTERS CREEK WAY
HOUSTON, TX 77024

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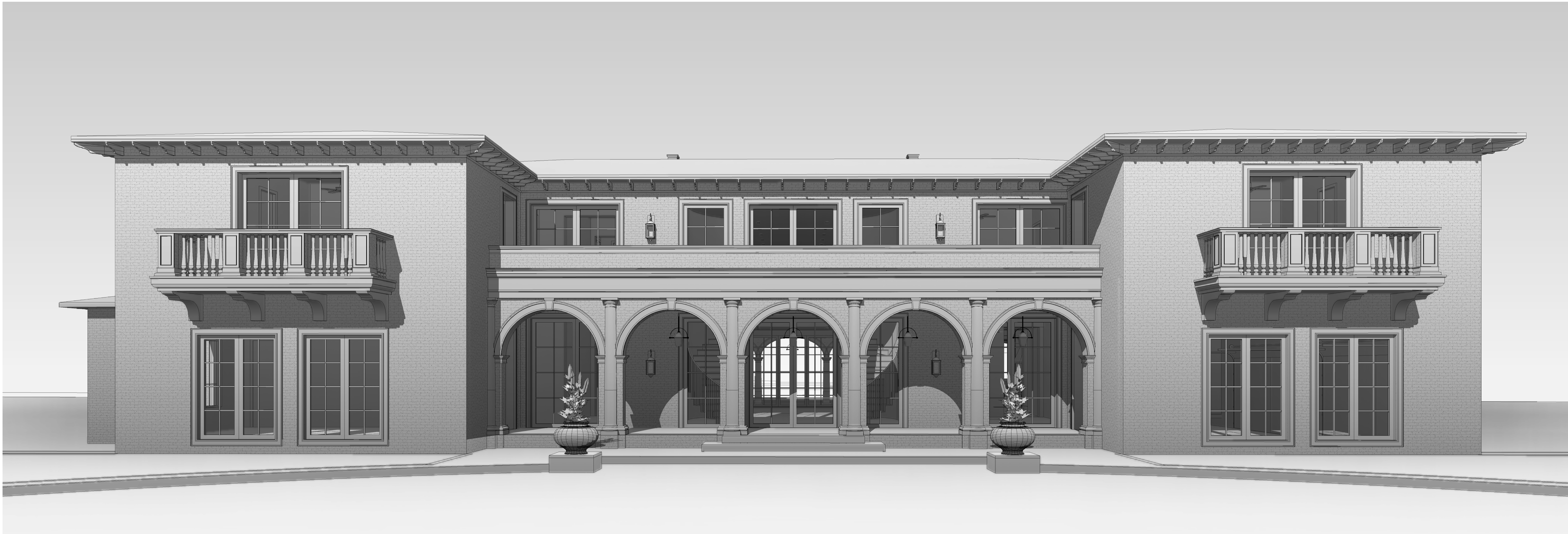
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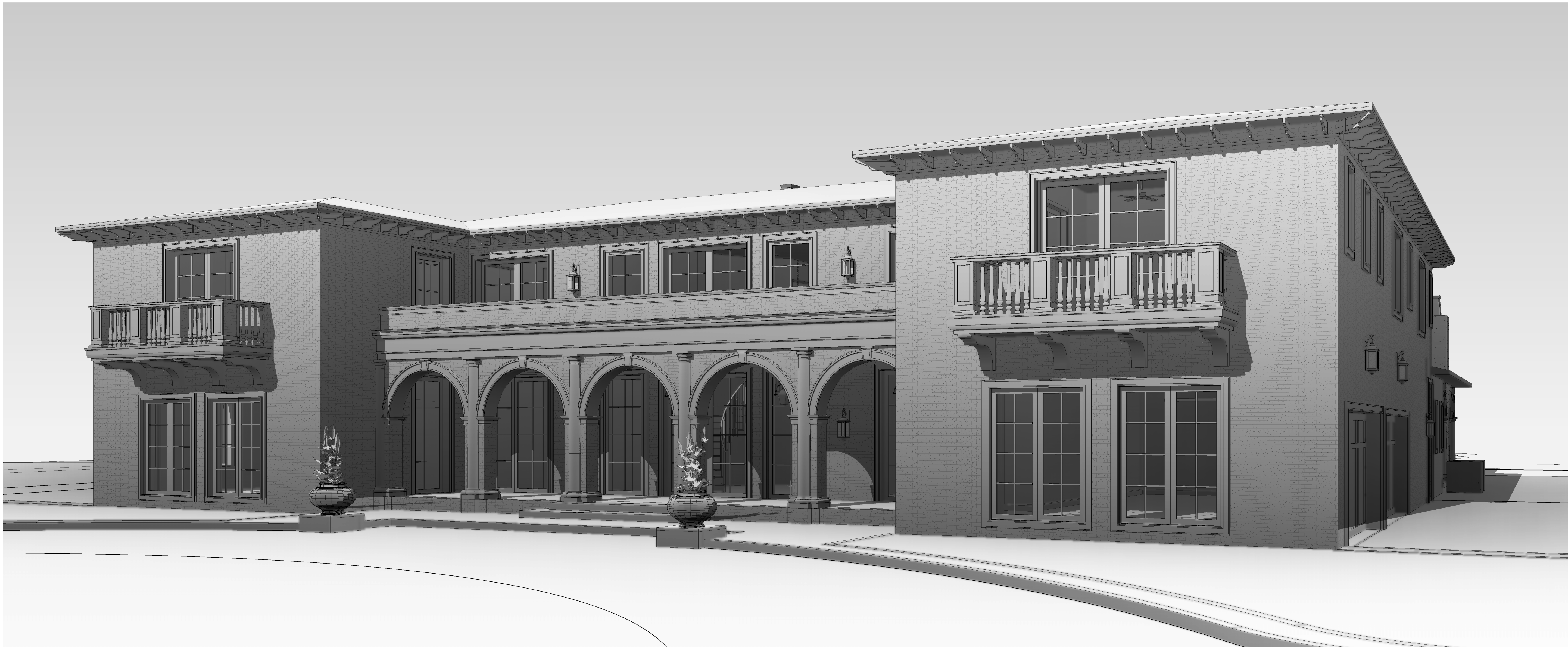

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COVER SHEET	
A.000	



EXTERIOR VIEW - FRONT STRAIGHT



EXTERIOR VIEW - FRONT

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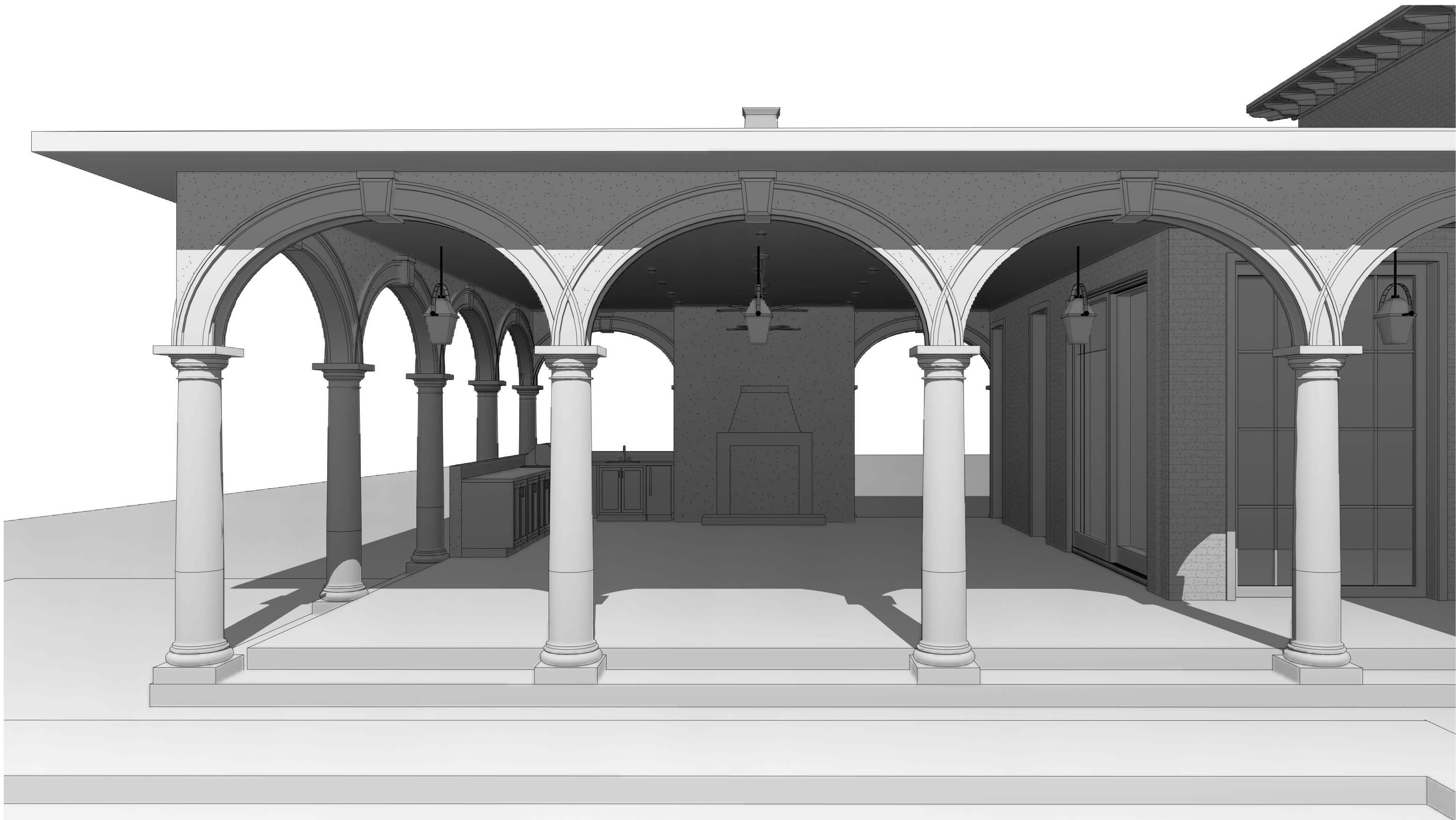
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RENDERINGS & PERSPECTIVES

A.002



EXTERIOR VIEW - BACK STRAIT



EXTERIOR VIEW - BACK LOGGIA



EXTERIOR VIEW - MASTER LOGGIA

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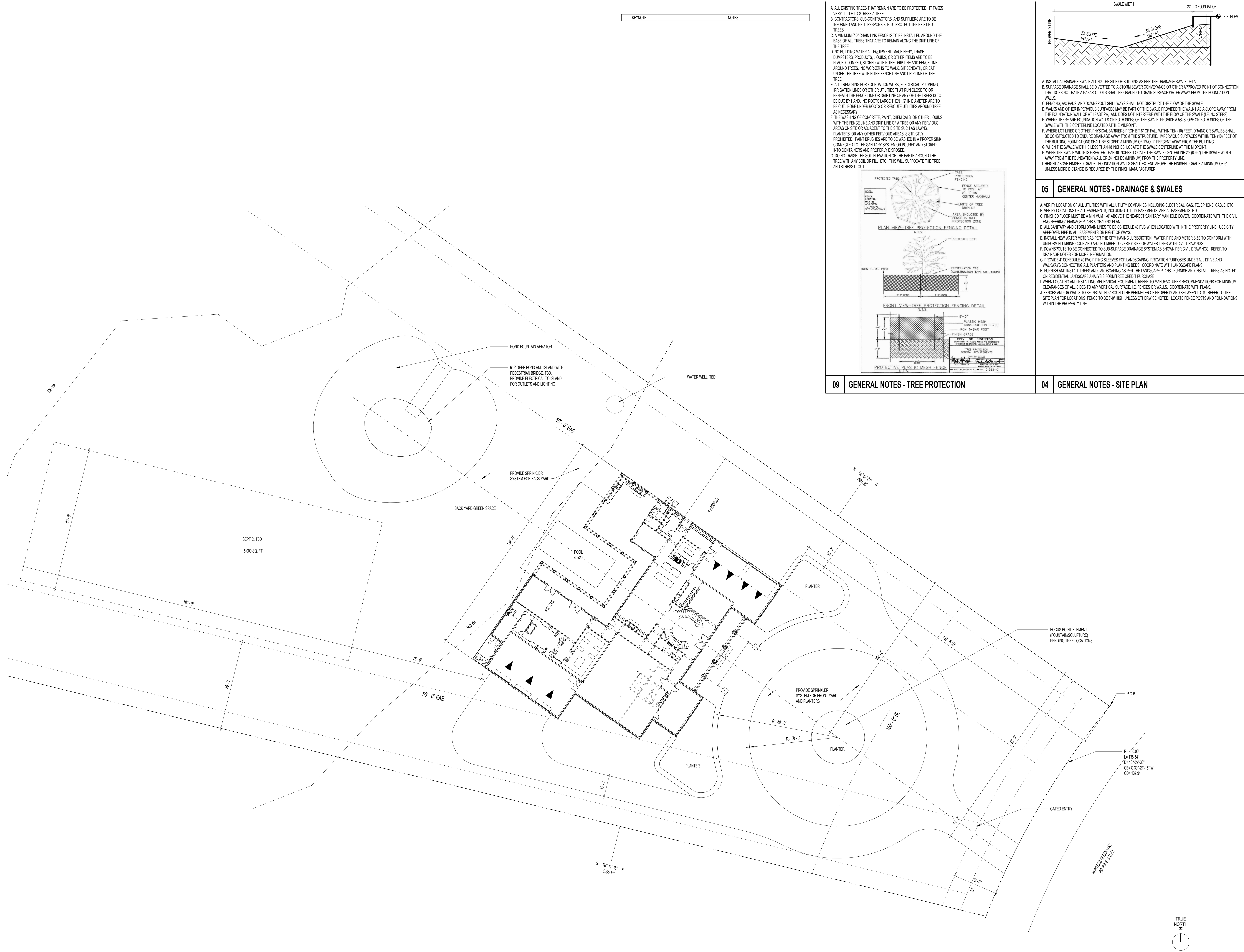
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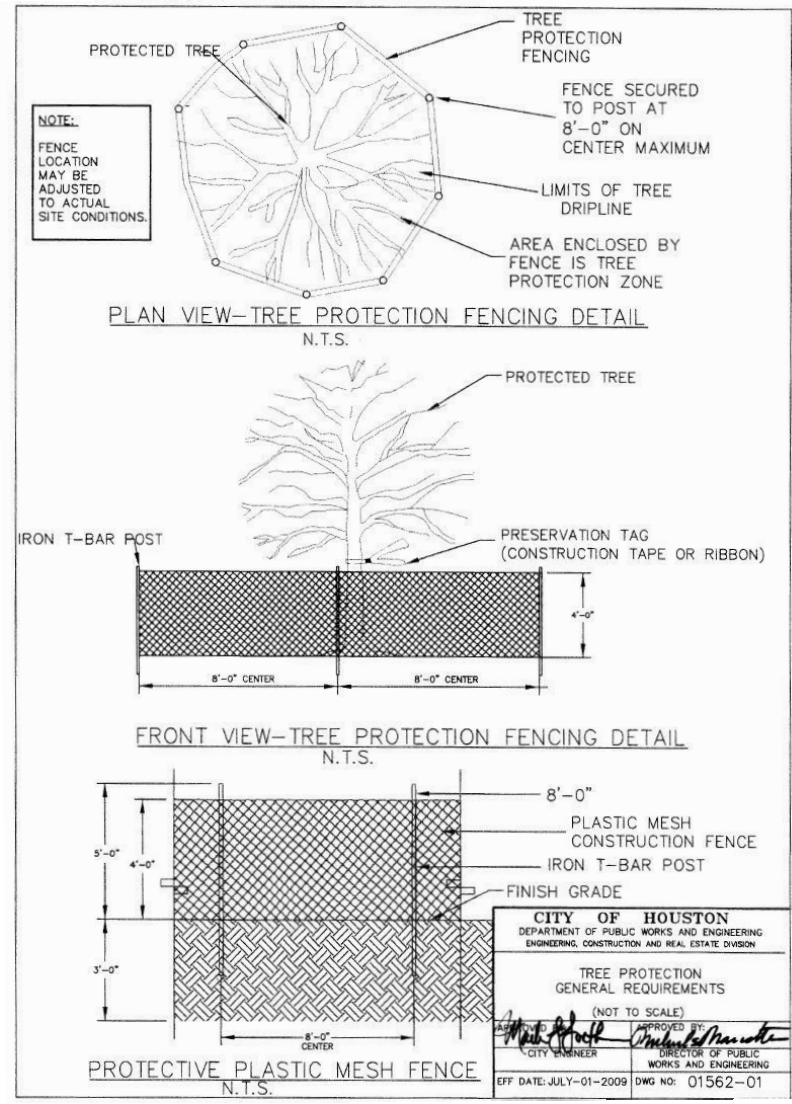
RENDERINGS & PERSPECTIVES

A.003

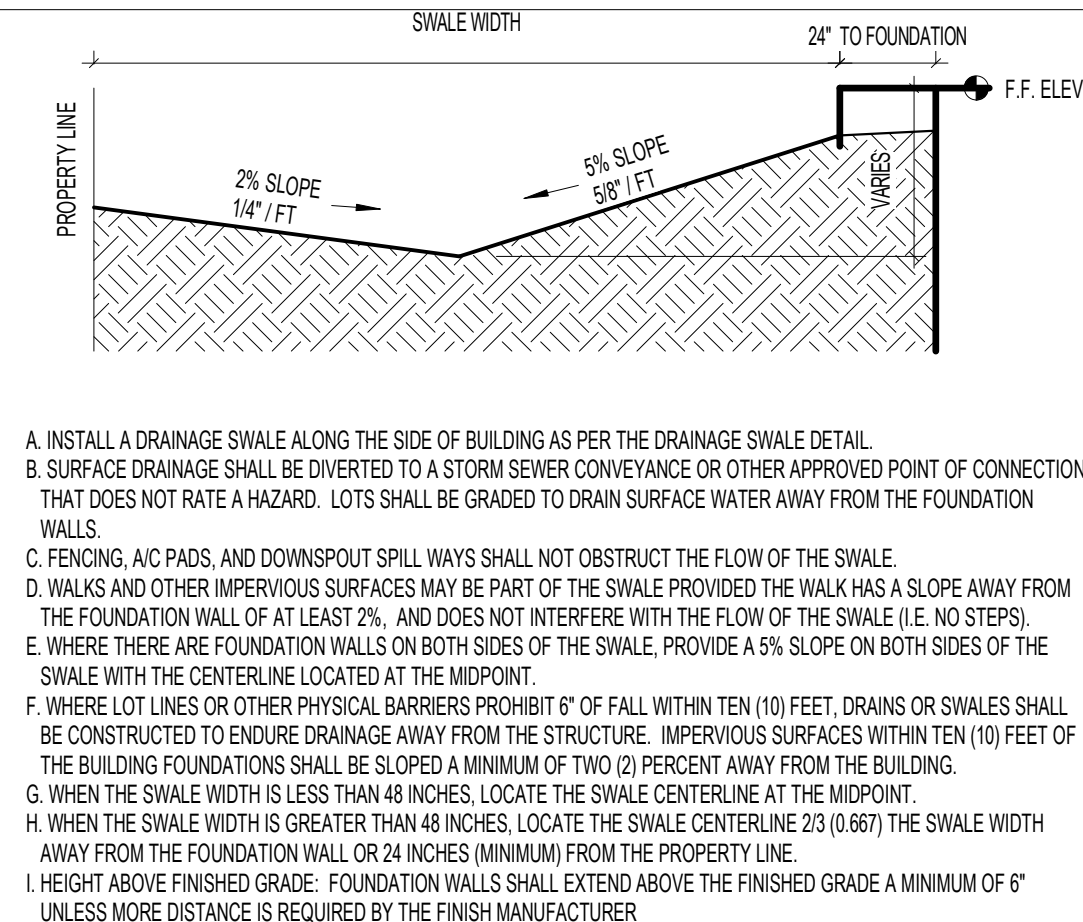


KEYNOTE	NOTES
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- A. ALL EXISTING TREES THAT REMAIN ARE TO BE PROTECTED. IT TAKES VERY LITTLE TO STRESS A TREE.
- B. CONTRACTORS, SUB-CONTRACTORS, AND SUPPLIERS ARE TO BE INFORMED AND HELD RESPONSIBLE TO PROTECT THE EXISTING TREES.
- C. A MINIMUM 8'-0" CHAIN LINK FENCE IS TO BE INSTALLED AROUND THE BASE OF ALL TREES THAT ARE TO REMAIN ALONG THE DRIP LINE OF THE TREE.
- D. NO BUILDING MATERIAL, EQUIPMENT, MACHINERY, TRASH, DUMPSTERS, PRODUCTS, LIQUIDS, OR OTHER ITEMS ARE TO BE PLACED, DUMPED, STORED WITHIN THE DRIP LINE AND FENCE LINE AROUND TREES. NO WORKER IS TO WALK, SIT BENEATH, OR EAT UNDER THE TREE WITHIN THE FENCE LINE AND DRIP LINE OF THE TREE.
- E. ALL TRENCHING FOR FOUNDATION WORK, ELECTRICAL, PLUMBING, IRRIGATION LINES OR OTHER UTILITIES THAT RUN CLOSE TO OR BENEATH THE FENCE LINE OR DRIP LINE OF ANY OF THE TREES IS TO BE CUT BY HAND. NO ROOTS LARGER THAN 1/2" IN DIAMETER ARE TO BE CUT. BORE UNDER ROOTS OR REROUTE UTILITIES AROUND TREE AS NECESSARY.
- F. THE WASHING OF CONCRETE, PAINT, CHEMICALS, OR OTHER LIQUIDS WITH THE FENCE LINE AND DRIP LINE OF A TREE OR ANY PERVIOUS AREAS ON SITE OR ADJACENT TO THE SITE SUCH AS LAWNS, PLANTERS, OR ANY OTHER PERVIOUS AREAS IS STRICTLY PROHIBITED. PAINT BRUSHES ARE TO BE WASHED IN A PROPER SINK CONNECTED TO THE SANITARY SYSTEM OR POURED AND STORED INTO CONTAINERS AND PROPERLY DISPOSED.
- G. DO NOT RAISE THE SOIL ELEVATION OF THE EARTH AROUND THE TREE WITH ANY SOIL OR FILL, ETC. THIS WILL SUFFOCATE THE TREE AND STRESS IT OUT.



09 GENERAL NOTES - TREE PROTECTION



05 GENERAL NOTES - DRAINAGE & SWALES

- A. VERIFY LOCATION OF ALL UTILITIES WITH ALL UTILITY COMPANIES INCLUDING ELECTRICAL, GAS, TELEPHONE, CABLE, ETC.
- B. VERIFY LOCATIONS OF ALL EASEMENTS, INCLUDING UTILITY EASEMENTS, AERIAL EASEMENTS, ETC.
- C. FINISHED FLOOR MUST BE A MINIMUM 1'-0" ABOVE THE NEAREST SANITARY MANHOLE COVER. COORDINATE WITH THE CIVIL ENGINEERING/DRAINAGE PLANS & GRADING PLAN.
- D. ALL SANITARY AND STORM DRAIN LINES TO BE SCHEDULE 40 PVC WHEN LOCATED WITHIN THE PROPERTY LINE. USE CITY APPROVED PIPE IN ALL EASEMENTS OR RIGHT OF WAYS.
- E. INSTALL NEW WATER METER AS PER THE CITY HAVING JURISDICTION. WATER PIPE AND METER SIZE TO CONFORM WITH UNIFORM PLUMBING CODE AND APL PLUMBER TO VERIFY SIZE OF WATER LINES WITH CIVIL DRAWINGS.
- F. DOWNSPOUTS TO BE CONNECTED TO SUB-SURFACE DRAINAGE SYSTEM AS SHOWN PER CIVIL DRAWINGS. REFER TO DRAINAGE NOTES FOR MORE INFORMATION.
- G. PROVIDE 4" SCHEDULE 40 PVC PIPING SLEEVES FOR LANDSCAPING IRRIGATION PURPOSES UNDER ALL DRIVE AND WALKWAYS CONNECTING ALL PLANTERS AND PLANTING BEDS. COORDINATE WITH LANDSCAPE PLANS.
- H. FURNISH AND INSTALL TREES AND LANDSCAPING AS PER THE LANDSCAPE PLANS. FURNISH AND INSTALL TREES AS NOTED ON RESIDENTIAL LANDSCAPE ANALYSIS FORM/TREE CREDIT PURCHASE.
- I. WHEN LOCATING AND INSTALLING MECHANICAL EQUIPMENT, REFER TO MANUFACTURER RECOMMENDATIONS FOR MINIMUM CLEARANCES OF ALL SIDES TO ANY VERTICAL SURFACE (IE FENCES OR WALLS). COORDINATE WITH PLANS.
- J. FENCES AND/OR WALLS TO BE INSTALLED AROUND THE PERIMETER OF PROPERTY AND BETWEEN LOTS. REFER TO THE SITE PLAN FOR LOCATIONS. FENCE TO BE 8'-0" HIGH UNLESS OTHERWISE NOTED. LOCATE FENCE POSTS AND FOUNDATIONS WITHIN THE PROPERTY LINE.

04 GENERAL NOTES - SITE PLAN

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ARCHITECTURAL SITE PLAN

A.100

HOME AREA	
AREA NAME	AREA (SF)
CONDITIONED	
FIRST FLOOR	5,776 SF
SECOND FLOOR	4,636 SF
GAME ROOM	1,756 SF
OFFICE	448 SF
TOTAL CONDITIONED	12,681 SF
UNCONDITIONED	
PERSONAL AUTOMOTIVE GARAGE	1,118 SF
STORAGE GARAGE	1,255 SF
ENTRY LOGGIA	525 SF
OUTDOOR KITCHEN & LOGGIA	1,790 SF
SECOND FLR. BALCONY	535 SF
MECHANICAL STORAGE	568 SF
TOTAL UNCONDITIONED	5,655 SF
TOTAL COMBINED	18,211 SF

[illegible]

03 | LEGEND - FLOOR PLAN

- N REFER TO SITE PLAN FOR BUILDING PLACEMENT AND WALL INFORMATION
- N REFER TO INTERIOR WALLS TO 2X6 WOOD FRAMING U/L. ALL EXTERIOR WALLS TO 2X6 WOOD FRAMING U/L. COORDINATE WITH WALL TIES AND BRACKETS FOR EXTERIOR WALLS
- N INTERIOR & EXTERIOR DIMENSIONS ARE FROM FRAME TO FRAME U/L
- N COORDINATE CHANGE IN EXTERIOR WALL TYPES WITH EXTERIOR ELEVATIONS & WALL SECTIONS
- N COORDINATE WITH TIES AND BRACKETS FOR EXTERIOR WALLS AND THE ENERGY REPORTS
- N COORDINATE WITH TIES AND BRACKETS FOR EXTERIOR WALLS AND THE ENERGY REPORTS
- N EXTERIOR WALLS AS NOTICED THROUGHOUT TO BE BATT INSULATION FOR SOUND ATTENUATION
- N DRYWALL CORERS TO HAVE HALF ROUNDED RADIIUS EDGE
- N GROUTING IN HAZARDOUS AREAS PER 240 MUST BE TEMPERG FLOOR AND MEET THE CODE REQUIREMENTS
- N ALL JOINTS IN BARBERSHIPS W/OUT JOINTS TO BE 1/8" DEEPER THAN 1/8" AFF. MUST BE TEMPERG
- N JOINTS IN STAIRWELLS TO BE TEMPERG FLOOR
- N GLASS SHOWER DOORS AND ENCLOSURES TO BE TEMPERG
- N REFER TO LAYOUT FOR SPECIFICATIONS FOR MATERIALS AND SPECIFICATIONS OF RAILINGS
- N SHOWERS SHALL HAVE WATER-RESISTANT BACKING BOARDING FROM FLOOR TO CEILING. INTERIOR AREAS OF DIRECT EXPOSURE TO WATER OR HIGH HUMIDITY SHALL BE FINISHED WITH NON ABSORBENT SURFACE. SEE IN SHOWERS TO BE FINISHED WITH NON ABSORBENT SURFACE
- N AT LEAST ONE WINDOW OR SLEEPING ROOMS MUST HAVE A MINIMUM NET CLEAR OPENING OF 5.0 SF ON FIRST FLOOR AND 1.5 SQUARE FEET ON UPPER FLOORS. THE MINIMUM NET CLEAR OPENING WITH 0% LESS THAN 2.0' AND HEIGHT NO LESS THAN 7.0'.
- M ALL THERMAL ENVELOPE CORNERS AND TO BE NOTICED; REFER TO ADVANCED FRAMING TECHNIQUES
- N INSULATE ALL THERMAL ENVELOPE HEADERS WITH FOAM INSULATION BOARD TO MATCH INSULATION R VALUE
- N BOTTOM PLATE HEADERS TO BE SEAR SEAMED TO MATCH INSULATION R VALUE
- N TOP PLATE AT EXTERIOR WALL SEATING MUST BE AIR SEALED
- N ASSEMBL BETWEEN THE GARAGE AND ADJACENT HOUSE AT THE WALLS AND REARWAD JOISTS
- N AT CLOSED SIDES OF THE HOUSE TO BE AIR SEALED
- N AIR BAR BRACKER MUST BE INSTALLED WHERE TIES ARE INSTALLED ALONG AN EXTERIOR WALL

PLUMBING:

- A. PENETRATIONS INTO PRE-EXISTING PARTITIONS SHALL NOT REDUCE THE FIRE RESISTANCE RATING OF WALL, REFR. OR SEC. SECTION 7.2 RESISTANCE RATING.
- B. FLOOR FINISHES SHALL BE DETERMINED BY OWNER, REND AND PRELAPACES AND ANY GAS CALL LOCATIONS SHALL BE IDENTIFIED AND MARKED.
- C. GAS VALVES TO REFRIGERAC SHALL BE A MAXIMUM DISTANCE OF 4" AWAY FROM THE LOGS AND HANGERS.
- D. ALL INSULATION AROUND PIPING NOT TO EXCEED THE FLAME SPREAD RATING OF 25 AND A SMOKE DENSITY OF 450 OR LESS.
- E. INSULATION SHALL BE NON-FLAMMABLE AND SHALL NOT PROVIDE A PATH FOR A REFUEL LINE TO THE OUTDOOR STORAGE DRUM LINE. DO NOT CONNECT TO THE SANITARY SEWER.
- F. HOT WATER WATER CONSERVATION MEASURES SHALL BE IN ACCORDANCE WITH SECTION 940.3.3.
- G. ALL WATER PIPING SHALL BE INSULATED TO THE MINIMUM R-VALUE REQUIRED BY SECTION 940.3.3.
- H. PIPE INSULATION SHALL BE REMOVED ON HOT WATER PIPES 1/2" OR LARGER, UNLESS THE OUTDOOR CONDITIONED SPACE, FROM THE HEATER TO THE MANIFOLD SYSTEM AND ANY UNDER SLAB FOUNDATION.
- I. ALL FLOOR DRAINS, INCLUDING THE LAUNDRY ROOM DRAIN, SHALL BE A REUSE TO A REUSE LINE TO THE OUTDOOR OR STORM DRAIN. DO NOT CONNECT TO THE SANITARY SEWER.
- J. PROVIDE A INCLUDING ACCESS PANEL AT THE DRAIN SIDE OF ALL BATHROOMS & SHOWERS.
- K. LAUNDRY ROOM WASHER AND DRYER HOODS WITH HOT AND COLD WATER AND DRAIN.
- L. REFRIGERATORS SHALL BE WATER TIGHT AND SHALL NOT PROVIDE A PATH FOR A REFUEL LINE TO THE OUTDOOR STORAGE DRUM LINE.
- M. PROVIDE A MINIMUM OF TWO EXTERIOR HOSE BESS, COORDINATE WITH THE PLANS.

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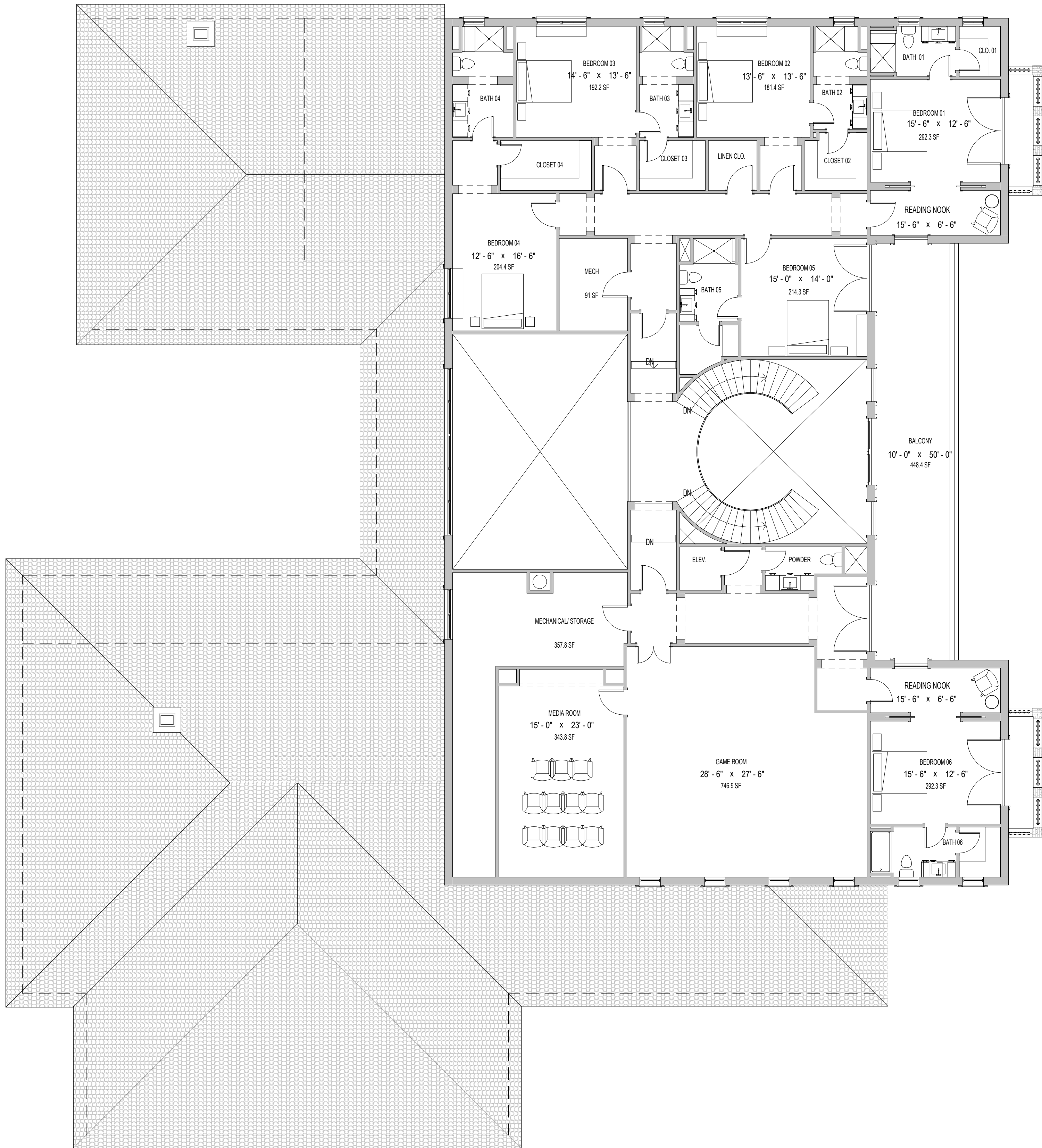
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FIRST FLOOR PLAN

A.101



KEYNOTE	NOTES
<p>STEP DOWN</p> <p>WALL WITH INSULATION</p> <p>DOOR TAG</p> <p>WINDOW TAG</p> <p>RECESSED / SHAFT FLOOR AREA</p> <p>EXTERIOR WALL TAGS</p> <p>INTERIOR WALL TAGS</p> <p>DOOR TYPE MARK (D0ST)</p> <p>DOOR SCHEDULE ORGANIZATION (N)</p> <p>DOOR WIDTH (3'-0")</p> <p>DOOR HEIGHT (8'-0")</p> <p>OPENING HEIGHT WITH TRANSOM (9'-5") IF APPLIES</p> <p>TEMPERED GLASS, VERIFY REQUIREMENT</p> <p>WINDOW TYPE MARK (W03)</p> <p>WINDOW SCHEDULE ORGANIZATION (FLA)</p> <p>WINDOW HEADER HEIGHT (9'-5")</p> <p>FRAMED OPENING / WINDOW HEIGHT (7'-5")</p> <p>WINDOW HEIGHT (8'-0") IF TRANSOM APPLIES</p> <p>TRANSOM HEIGHT (1'-0") IF TRANSOM APPLIES</p> <p>WINDOW WIDTH (3'-0")</p> <p>LOWERED SUBFLOOR DECKING</p>	

03 LEGEND - FLOOR PLAN

A. REFER TO SITE PLAN FOR BUILDING PLACEMENT AND WALK INFORMATION.
B. INTERIOR WALLS TO BE 2X4 WOOD FRAMING U.N.O. ALL EXTERIOR WALLS TO BE 2X6 WOOD FRAMING U.N.O. COORDINATE WITH WALL TAGS AND PARTITION TYPES.
C. INTERIOR & EXTERIOR DIMENSIONS ARE FROM FRAME TO FRAME U.O.N.
D. COORDINATE CHANGE IN EXTERIOR WALL TYPES WITH EXTERIOR ELEVATIONS & WALL SECTIONS.
E. INSULATION ON THE EXTERIOR PERIMETER OF THE BUILDING TO BE AS PER THE ENERGY REPORTS. ALL INSULATION ON INTERIOR WALLS AS INDICATED THROUGHOUT TO BE BATT INSULATION FOR SOUND ATTENUATION.
F. DRYWALL CORNERS TO HAVE HALF ROUND RADIIUS EDGE.
G. GLAZING IN HAZARDOUS AREAS PER IBC 2608 MUST BE TEMPERED GLASS AND MEET THE CODE REQUIREMENTS. ALL GLAZING IN BATHROOMS, WET AREAS, ADJACENT TO DOORS OR LESS THAN 18" AFF. MUST BE TEMPERED.
H. WINDOWS IN STAIRWELLS TO BE TEMPERED GLASS.
I. GLASS SHOWER DOORS AND ENCLOSURES TO BE TEMPERED.
J. REFER TO ENLARGED STAIR PLANS FOR ADDITIONAL DETAILS AND SPECIFICATIONS OF RAILINGS.
K. SHOWERS SHALL HAVE WATER RESISTANT BACKING BOARDS FROM FLOOR TO CEILING. INTERIOR AREAS OF DIRECT EXPOSURE TO WATER OR HIGH HUMIDITY SHALL BE FINISHED WITH NON-ABSORBENT SURFACE. TILE IN SHOWERS TO BE FROM FLOOR TO CEILING. REFER TO INTERIORS FOR MORE INFORMATION.
L. AT LEAST ONE WINDOW FROM SLEEPING ROOMS MUST HAVE A MINIMUM NET CLEAR OPENING OF 5.0 SF ON FIRST FLOOR AND 0.5 SQUARE FEET ON UPPER FLOORS. THE MINIMUM NET CLEAR OPENING WIDTH OF NO LESS THAN 20" AND HEIGHT NO LESS THAN 24".
M. ALL THERMAL ENVELOPE CORNERS AND TS TO BE INSULATED. REFER TO ADVANCED FRAMING TECHNIQUES.
N. INSULATE ALL THERMAL ENVELOPE HEADERS WITH FOAM INSULATION BOARD TO MATCH WALL INSULATION R-VALUE.
O. BOTTOM PLATE MUST BE AIR SEALED TO FOUNDATION / SUBFLOOR.
P. TOP PLATE AT EXTERIOR WALL SHEATHING MUST BE AIR SEALED.
Q. AIRSEAL BETWEEN THE GARAGE AND ADJOINING HOUSE AT THE WALLS AND RIMBAND JOISTS.
R. EXPOSED EDGES OF INSULATION AT FLOORS AND SOFFITS MUST BE BLOCKED.
S. AN AIR BARRIER MUST BE INSTALLED WHERE TUBS ARE INSTALLED ALONG AN EXTERIOR WALL.

PLUMBING:
A. PENETRATIONS INTO FIRE RESISTANT RATED PARTITIONS SHALL NOT REDUCE THE FIRE RESISTANCE RATING OF WALL. REFER TO BC SECTION 712 PENETRATIONS.
B. PROVIDE GAS CONNECTIONS FOR THE DRYER, OVEN, RANGE AND FIREPLACES AND ANY GAS GRILL LOCATIONS.
C. GAS VALVES TO FIREPLACES SHALL BE A MAXIMUM DISTANCE OF 4'-0" AWAY FROM THE LOG LIGHTER.
D. ALL INSULATION AROUND PIPING NOT TO EXCEED THE FLAME SPREAD RATING OF 25 AND A SMOKE DENSITY OF 450.
E. TANKLESS WATER HEATERS TO BE USED AND LOCATED IN THE ATTIC OVER A PAN WITH A RELIEF LINE TO THE OUTSIDE OR STORM DRAIN LINE. DO NOT CONNECT TO THE SANITARY SEWER LINE.
F. HOT WATER ENERGY CONSERVATION MEASURES SHALL BE IN ACCORDANCE WITH SECTION R403.1.
G. WATER LINES CARRYING FLUID ABOVE 105 DEGREES AND BELOW 55 DEGREES MUST BE INSULATED TO R-3.
H. PIPE INSULATION R-3 IS REQUIRED ON HOT WATER LINES 3/4" DIA OR LARGER. LINES OUTSIDE THE CONDITIONED SPACE, FROM THE HEATER TO THE MAIN/COLD SYSTEM AND ANY UNDER SLAB FOUNDATIONS.
I. ALL FLOOR DRAINS, INCLUDING THE LAUNDRY ROOM DRAIN, ARE TO HAVE A RELIEF LINE TO THE OUTSIDE OR STORM SEWER. DO NOT CONNECT TO THE SANITARY SEWER LINE.
J. PROVIDE A PLUMBING ACCESS PANEL AT THE DRAIN SIDE OF ALL BATHTUBS & SHOWERS.
K. LAUNDRY ROOM WASHER AND DRYER HOOKUPS WITH HOT AND COLD WATER AND DRAIN.
L. REFRIGERATORS & ICE MACHINES TO HAVE COLD WATER LINE.
M. PROVIDE A MINIMUM OF TWO EXTERIOR HOSE BISSES. COORDINATE WITH THE PLANS.

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SECOND FLOOR PLAN

A.102



KEYNOTE		NOTES	

LEGEND - MATERIALS	
KEYNOTE	MATERIAL

A. ALL STUCCO, WOOD, AND HARDIE SURFACES TO BE PRIMED AND PAINTED PER MANUFACTURERS REQUIREMENTS

B. ALL STEEL UNITS TO BE FULLY PRIMED AND PAINTED WITH ACRYLIC FINISH PRIOR TO INSTALLATION. A SECOND FINISH COAT TO BE APPLIED AFTER INSTALLATION

C. PROVIDE SAMPLES OF ALL COLORS ON ACTUAL MATERIALS TO BE INSTALLED AND FINISHED, I.E. ON THE STUCCO WALL, WOOD FENCE, ETC. OWNER/ARCHITECT TO REVIEW AND APPROVE

D. PROVIDE STUCCO CONTROL JOINTS IN THE STUCCO AS PER THE RECOMMENDATION OF THE NATIONAL STUCCO MANUFACTURERS ASSOCIATION ([HTTP://WWW.STUCCOMFGASSOC.COM](http://www.stuccomfgassoc.com)). COORDINATE WITH THE ELEVATIONS AS SHOWN.

E. PROVIDE EXPANSION JOINTS W/ BRICK AND STONE AS PER THE BRICK INDUSTRY ASSOCIATION. SPACING SHALL BE NO MORE THAN 25 FEET APART AND SHALL BE INSTALLED AT WALL INTERSECTIONS, INSIDE CORNERS, OFFSETS, SETBACKS AND CHANGES IN WALL HEIGHT OR WHEN WALL BACKING SYSTEM CHANGES OR SUPPORT CHANGES, WHERE WALL FUNCTION CHANGES OR CLIMATE EXPOSURE CHANGES. EXTEND TO TOP OF BRICKWORK OR PARAPETS.

F. PROVIDE SEALANT AT ALL INTERSECTIONS OF DIFFERENT MATERIALS.

G. CHIMNEYS TO BE A MINIMUM 2'-0" ABOVE ANY ROOF WITHIN A 10'-0" RADIUS OR 3'-0" ABOVE ANY ROOF LINE RIDGE. CHIMNEY PIPES SHALL EXIT THROUGH THE ROOF DECKING INSIDE ALL BUILDING AND SETBACK LINES. PROVIDE A SPARK ARRESTOR AT THE CHIMNEY. THE MESH IS TO HAVE A MAXIMUM GAP OF 1/2" MINIMUM GAP OF 3/8"

H. ALL WINDOW HEAD HEIGHTS TAKEN FROM IMMEDIATE INTERIOR FLOOR LEVEL. HEAD HEIGHTS IN STAIRWELLS TAKEN FROM FLOOR LEVEL OF THE STAIRWELL.

01	GENERAL NOTES - EXTERIOR ELEVATIONS
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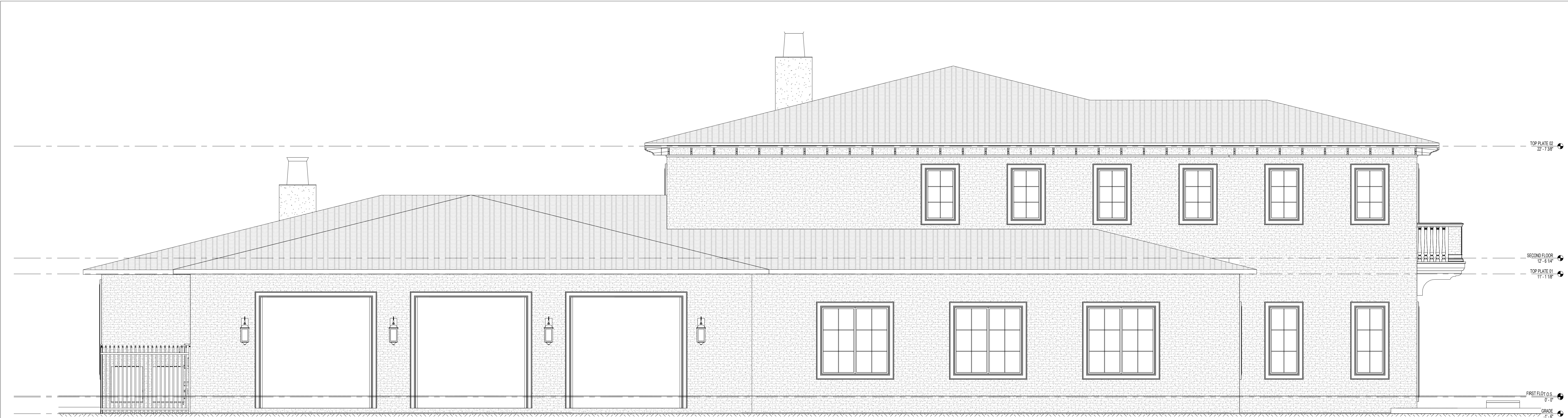
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BUILDING ELEVATIONS	
A.501	



29 ELEVATION - SOUTH

SCALE: 1/4" = 1'-0"



27 ELEVATION - WEST

SCALE: 1/4" = 1'-0"

KEYNOTE	NOTES
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LEGEND - MATERIALS	
KEYNOTE	MATERIAL

A. ALL STUCCO, WOOD, AND HARDIE SURFACES TO BE PRIMED AND PAINTED PER MANUFACTURERS REQUIREMENTS
B. ALL STEEL LINTELS TO BE FULLY PRIMED AND PAINTED WITH ACRYLIC FINISH PRIOR TO INSTALLATION. A SECOND FINISH COAT TO BE APPLIED AFTER INSTALLATION.
C. PROVIDE SAMPLES OF ALL COLORS ON ACTUAL MATERIALS TO BE INSTALLED AND FINISHED, I.E. ON THE STUCCO WALL, WOOD FENCE, ETC. OWNER/ARCHITECT TO REVIEW AND APPROVE.
D. PROVIDE STUCCO CONTROL JOINTS IN THE STUCCO AS PER THE RECOMMENDATION OF THE NATIONAL STUCCO MANUFACTURERS ASSOCIATION (HTTP://WWW.STUCCOMFGASSOC.COM). COORDINATE WITH THE ELEVATIONS AS SHOWN.
E. PROVIDE EXPANSION JOINTS IN BRICK AND STONE AS PER THE BRICK INDUSTRY ASSOCIATION. SPACING SHALL BE NO MORE THAN 25 FEET APART AND SHALL BE INSTALLED AT WALL INTERSECTIONS, INSIDE CORNERS, OFFSETS, SETBACKS AND CHANGES IN WALL HEIGHT OR WHEN WALL BACKING SYSTEM CHANGES OR SUPPORT CHANGES, WHERE WALL FUNCTION CHANGES OR CLIMATE EXPOSURE CHANGES. EXTEND TO TOP OF BRICKWORK OR PARAPETS.
F. PROVIDE SEALANT AT ALL INTERSECTIONS OF DIFFERENT MATERIALS.
G. CHIMNEYS TO BE A MINIMUM 2'-0" ABOVE ANY ROOF WITHIN A 12'-0" RADIUS OR 3'-0" ABOVE ANY ROOF LINE RIDGE. CHIMNEY PIPES SHALL EXT THROUGH THE ROOF DECKING INSIDE ALL BUILDING AND SETBACK LINES. PROVIDE A SPARK ARRESTOR AT THE CHIMNEY. THE MESH IS TO HAVE A MAXIMUM GAP OF 1/2" MINIMUM GAP OF 3/8".
H. ALL WINDOW HEAD HEIGHTS TAKEN FROM IMMEDIATE INTERIOR FLOOR LEVEL. HEAD HEIGHTS IN STAIRWELLS TAKEN FROM FLOOR LEVEL OF THE STAIRWELL.

01 GENERAL NOTES - EXTERIOR ELEVATIONS

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HUNTERS CREEK WAY RESIDENCE

1043 HUNTERS CREEK WAY
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PROJECT NO: 00-000

INITIAL PROJECT ISSUE DATE: -- DESCRIPTION: --

DRAWN BY: AMC CHECKED BY: TLB

FILE PATH: C:\Users\amc\Documents\21-181-1043 Hunters Creek Way - central_mirador.mxd

BUILDING ELEVATIONS

A.502