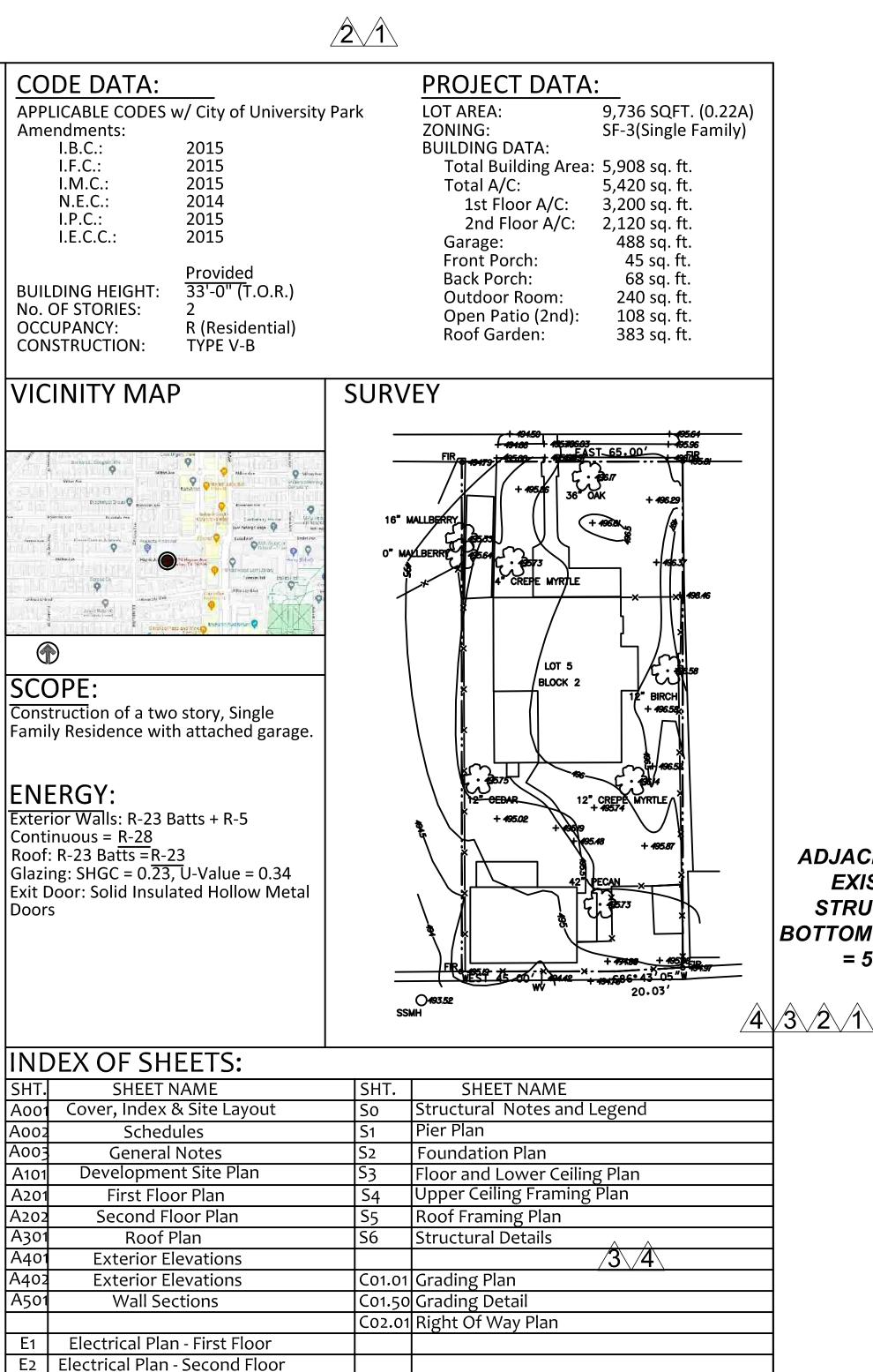


# CONSTRUCTION PLANS FOR: Private Residence (Lot 5, Block 2) 3429 Haynie Avenue

# GENERAL NOTES:

- 1. THE CONTRACTOR SHALL EXAMINE AND BECOME FAMILIAR WITH ALL CONTRACT DOCUMENTS IN THEIR ENTIRETY, SURVEY THE PROJECT AND BECOME FAMILIAR WITH THE EXISTING CONDITIONS AND SCOPE OF WORK. ALL COSTS SUBMITTED SHALL BE BASED ON THOROUGH KNOWLEDGE OF ALL WORK AND MATERIALS REQUIRED. ANY DISCREPANCY AND/OR UNCERTAINTY AS TO WHAT MATERIAL OR PRODUCT IS TO BE USED SHOULD BE VERIFIED WITH THE OWNER OR DESIGNER.
- 2. ALL CONSTRUCTION SHALL COMPLY WITH THE 2015 IBC AND ALL APPLICABLE STATE, FEDERAL, & LOCAL CODES & AMENDMENTS.
- 3. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES REQUIRED FOR SAFE EXECUTION AND COMPLETION OF WORK, AND FOR INITIATING, MAINTAINING, AND SUPERVISING ALL SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK.
- 4. ANY ERRORS, OMISSIONS, OR INCONSISTENCIES ON THESE DRAWINGS OR ANY VARIATIONS OR AMBIGUITIES BETWEEN THESE DRAWINGS AND ACTUAL SITE AND CONSTRUCTION CONDITIONS AND/OR REQUIREMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER.
- 5. IN THE EVENT A DISCREPANCY IS FOUND IN THE CONTRACT DOCUMENTS, THE OWNER & DESIGNER SHALL BE NOTIFIED IMMEDIATELY.
- 6. CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD AND NOTIFY THE DESIGNER OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
- 7. CONTRACTOR SHALL VERIFY ALL MEASUREMENTS AT THE SITE AND BE RESPONSIBLE FOR ACCURACY AND CORRECTNESS OF SAME.
- 8. CONTRACTOR SHALL COORDINATE HIS WORK WITH ALL OTHER TRADES. NOTIFY OWNER & DESIGNER OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
- 9. STORE MATERIALS IN SPACES DESIGNATED BY OWNER.
- <sup>10.</sup> REMOVE RUBBISH FROM PREMISES AS OFTEN AS NECESSARY OR AS DIRECTED.
- <sup>11.</sup> ALL WORK AND EQUIPMENT SHALL BE CLEANED TO THE SATISFACTION OF THE OWNER BEFORE TURNING SAME OVER TO THE OWNER.
- 12. SHOP DRAWINGS SHALL BE SUBMITTED TO THE OWNER FOR APPROVAL PRIOR TO ORDERING AND INSTALLATION OF ANY EQUIPMENT.
- <sup>13.</sup> THE CONTRACTOR SHALL PAY ALL FEES, GIVE ALL NOTICES, FILE ALL NECESSARY DRAWINGS AND OBTAIN ALL PERMITS AND CERTIFICATES OR APPROVAL REQUIRED IN CONNECTION WITH ALL WORK UNDER THESE CONTRACT DOCUMENTS. HE OR SHE SHALL COMPLY WITH ALL LAWS, ORDINANCES, RULES, AND REGULATIONS OF ALL AUTHORITIES HAVING JURISDICTION.
- <sup>14.</sup> THERE SHALL BE NO DEVIATION FROM SPECIFICATIONS WITHOUT THE WRITTEN APPROVAL OF THE OWNER, DESIGNER, AND/OR ENGINEER.
- DRYWALL INSTALLATION SHALL BE IN CONFORMANCE WITH THE GYPSUM ASSOCIATIONS RECOMMENDED PRACTICES FOR THICKNESS, NAILING, TAPING, AND CORRECT STUD SPACING.
- <sup>16.</sup> MECHANICAL CONTRACTOR TO VERIFY WITH DESIGNER ANY CHASE AREA NOT SHOWN ON DRAWINGS. ALL SHOP DRAWINGS TO BE SUBMITTED FOR APPROVAL PRIOR TO ORDERING ANY EQUIPMENT.
- <sup>17.</sup> DO NOT SCALE DRAWINGS; DIMENSIONS GOVERN. IF THERE IS A DISCREPANCY BETWEEN LARGE SCALE AND SMALL SCALE DRAWINGS, CONTACT THE DESIGNER FOR CLARIFICATION.
- 18. CONTRACT DRAWINGS AND SPECIFICATIONS REPRESENT FINISHED STRUCTURE. THEY DO NOT INDICATE METHOD OF CONSTRUCTION. CONTRACTOR SHALL PROVIDE ALL MEASURES NECESSARY TO PROTECT STRUCTURE AND PERSONNEL DURING CONSTRUCTION. SUCH MEASURES SHALL INCLUDE, BUT NOT BE LIMITED TO, BRACING, SHORING OF LOADS DUE TO CONSTRUCTION EQUIPMENT, EXCAVATION PROTECTION, SCAFFOLDING, JOB SITE SAFETY, ETC. OBSERVATION VISITS TO THE SITE BY THE DESIGNER, OWNER, OR ENGINEER SHALL NOT INCLUDE INSPECTION OF ABOVE ITEMS.
- 19. THE CONTRACTOR SHALL NOT STORE BUILDING MATERIALS, STAGE CONSTRUCTION OPERATIONS FROM, NOR GAIN ACCESS TO THE CONSTRUCTION SITE OVER ADJACENT PROPERTIES.



# HAYNIE AVE. N89°16'54"E 64.95' 6'-6**'** 9'-1' Lot 5, Block 2 University Park Add. City of University Park, ADJACENT LOT ADJACENT LOT **3429 HAYNIE EXISTING EXISTING AVENUE** STRUCTURE **STRUCTURE** FIRST LEVEL **BOTTOM OF BRICK** TOP OF BEAM = 582.99 SLAB = 584.45= 585.91 20' GARAGE DOOR SETBACK 12'-6" MIN. REAR SETBACK — 3'X5' TRASH INSET S89°22'43"W 45.31'

15' ALLEY ROW

NOTE: See A101 For Fully Dimensioned Site Plan

① SITE PLAN: Proposed Footprint

50' ROW

designs + associates

POST OFFICE BOX 380432 DUNCANVILLE, TEXAS 75138 phone: 214-245-8024 e-mail: d3architecture@yahoo.com

1 2 3 4

# FOR DILIP NANDEKAR 3429 HAYNIE AVE

REVISION

A CITY COMMENTS 04-19-23
A CITY COMMENTS 04-07-23
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A CITY COMMENTS 08-09-22
A CITY COMMENTS 07-26-22

**ISSUE DATE** 07-26-2022

PROJECT NUMBER 2022.0726.006

COVER SHEET

ISSUED FOR

CONSTRUCTION

APRIL 25TH, 2023

SHEET OF X



V	VALL SCH	EDULE				
	DENOTES WALL					
MK.	PLAN - SECTION	EXTERIOR	STUD SIZE & SPACE	WALL HEIGHT	GYP BD. & INSULATION	
A1	<u></u>	STUCCO	2" x 6" WOOD @ 16" o.c.	FULL (STUDS TO B.O.R.)	5/8" OSB SHEATHING, R-23 BATTS, 5/8" GYP. BD., U305 1 hr. rated	
A2	<u> </u>	N.A.	2" x 6" WOOD @ 16" o.c.	В.О.Ј.	5/8" GYP. BD. (Both Sides)	
А3	<u> </u>	N.A.	2" x 4" WOOD @ 16" o.c.	B.O.J.	5/8" GYP. BD. (Both Sides)	
A4						
NO.	NOTE: CONTRACTOR TO VERIFY STUD SIZE WITH FRAMING PLAN.					

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
	2'x4' LED Panel	\$	Single Pole Toggle Switch		Grease Trap
0	Recessed Down Light	\$ 3	Three-way Toggle Switch	<b>•</b>	Floor Drain
ф-	Pendant Light	IJ	Junction Box	-•-	Cold Water Line
<u> </u>	Bathroom Sconce to be selected by Owner	Ò	Disconnect Switch	-••-	Hot Water Line
X	Ceiling Fan to be selected by Owner	<b>1</b>	Data / Telephone Outlet		Sanitary Sewer Line
	Electrical Panel Board	GFCI	Ground Fault Circuit Interrupter	·/=	Clean Out
X	Supply Air grille	<del>+</del>	Duplex Receptacle, Single Phase 120V, 20 AMP	1001 =	Double Clean Out
	Return Air grille	#	Quad Receptacle, Single Phase   20V 20 AMP	-5-	Backflow Preventor
	Exhaust Fan	(1)	Thermostat		

INTERIOR FINISH SCHEDULE					
	FLOOR	BASE	WALL	CEILING	
FIRST FLOOR					
101 Entry	Wood Lam. V. T.	Wood	Painted Gyp. Bd.	Painted Gyp. Bd.	
102 Powder Room	12" x 12" C. T.	Wood	Painted Gyp. Bd.	Painted Gyp. Bd.	
103 Living Room	Wood Lam. V. T.	Wood	Painted Gyp. Bd.	Painted Gyp. Bd.	
104 Dining Room	Wood Lam. V. T.	Wood	Painted Gyp. Bd.	Painted Gyp. Bd.	
105 Kitchen	Wood Lam. V. T.	Wood	Painted Gyp. Bd.	Painted Gyp. Bd.	
106 Utility Room	Wood Lam. V. T.	Wood	Painted Gyp. Bd.	Painted Gyp. Bd.	
107 Garage	Sealed Conc.	Wood	Painted Gyp. Bd.	Painted Gyp. Bd.	
SECOND FLOOR					
201 Loft	Wood Lam. V. T.	Wood	Painted Gyp. Bd.	Painted Gyp. Bd.	
202 Closet	Carpet #1	Wood	Painted Gyp. Bd.	Painted Gyp. Bd.	
203 Bedroom #2	Carpet #1	Wood	Painted Gyp. Bd.	Painted Gyp. Bd.	
204 Bathroom #2	12" x 12" C. T.	Wood	Painted Gyp. Bd.	Painted Gyp. Bd.	
205 Bedroom #3	Carpet #1	Wood	Painted Gyp. Bd.	Painted Gyp. Bd.	
206 Closet	Carpet #1	Wood	Painted Gyp. Bd.	Painted Gyp. Bd.	
207 Master Bath	12" x 12" C. T.	Wood	Painted Gyp. Bd.	Painted Gyp. Bd.	
208 Master Bedroom	Carpet #1	Wood	Painted Gyp. Bd.	Painted Gyp. Bd.	
209 Closet	Carpet #1	Wood	Painted Gyp. Bd.	Painted Gyp. Bd.	
210 Balcony	Sealed Conc.	Wood	Stucco	Stucco	

CT = Ceramic Tile
WD VT = Wood Vinyl Tile
CPT = Carpet
PT = Porcelin Tile
RT = Rubber Tile
GYP. BD. = Gypsum Board
ACT = Acoustical Tile
S.S. = Stainless Steel
H.M. = Hollow Metal
S.C. = Solid Core
ALUM. = Aluminum
ACC. = Handicap Accessible
D.C. Hd. = Double Cylinder Handle
F.R. = Fire Rated
W.G. = Wire Glass
DK.B. = Dark Bronze
HGL = Half Glass Light
D.F. = Drinking Fountains
CDO = Clear Door Opening
B.O.D. = Bottom of Deck

DOOR AND FRAME							
	SCHEDULE						
	OOR						
	SI	ZE	KEYSIDE	NOTES			
MARK	WD	HGT	RM NO	NOTES			
1	5'-0"	7'-0"					
2	2'-8"	7'-0"					
3	5'-0"	7'-0"					
4	5'-0"	7'-0"					
5	16'-0"	7'-0"		ad ad			
6	5'-0"	7'-0"					
7	5'-0"	7'-0"					
8	6'-0"	7'-0"					
9	2'-8"	7'-0"					
10	2'-6"	7'-0"					
11	3'-0"	7'-0"					
12	3'-0"	7'-0"					
13	2'-8"	7'-0"	1				
14	2'-6"	7'-0"					
15	2'-8"	7'-0"					
16	2'-8"	7'-0"					
17	2'-6"	7'-0"					
18	2'-6"	7'-0"					
19	2'-8"	7'-0"					
20	5'-0"	7'-0"					
21	5'-0"	7'-0"					
22	2'-8"	7'-0"	1				
23	2'-8"	7'-0"					
24	2'-8"	7'-0"					
25	2'-6"	7'-0"					
26	2'-6"	7'-0"					
27	2'-6"	7'-0"	**				
28	2'-6"	7'-0"	ar ar				
29	2'-8"	7'-0"					
30	ρ'_0"	7'_∩"					

30 8'-0" 7'-0"

		WINDOW SCHEDULE								
	MARK		SIZE	MATERIAL	NOTES					
		Width	HEIGHT							
	1	3'-0"	8'-0"	ALL METAL FRAME WITH DUAL GLAZE AND GRID						
	2	6'-0" 6'-0"	8'-0"	ALL METAL FRAME WITH DUAL GLAZE AND GRID						
	3	3'-0"	8'-0" 8'-0"	ALL METAL FRAME WITH DUAL GLAZE AND GRID ALL METAL FRAME WITH DUAL GLAZE AND GRID						
	5	1'-6"	8'-0"	ALL METAL FRAME WITH DUAL GLAZE AND GRID ALL METAL FRAME WITH DUAL GLAZE AND GRID						
	6	7'-8"	8'-0"	ALL METAL FRAME WITH DUAL GLAZE AND GRID						
	7	3'-0"	8'-0"	ALL METAL FRAME WITH DUAL GLAZE AND GRID						
	8	6'-0"	8'-0"	ALL METAL FRAME WITH DUAL GLAZE AND GRID						
	9	3'-0"	8'-0"	ALL METAL FRAME WITH DUAL GLAZE AND GRID						
1	10	3'-0"	8'-0"	ALL METAL FRAME WITH DUAL GLAZE AND GRID	~-					
-	11	3'-0"	8'-0"	ALL METAL FRAME WITH DUAL GLAZE AND GRID						
-	12	3'-0"	4'-0"	ALL METAL FRAME WITH DUAL GLAZE AND GRID						
4	13	3'-0"	8'-0"	ALL METAL FRAME WITH DUAL GLAZE AND GRID						
4	14	3'-0"	8'-0"	ALL METAL FRAME WITH DUAL GLAZE AND GRID	or on					
4	15	3'-0"	5'-0"	ALL METAL FRAME WITH DUAL GLAZE AND GRID	~ =					
4	16	3'-0"	5'-0"	ALL METAL FRAME WITH DUAL GLAZE AND GRID						
	17	2'-0"	5'-0"	ALL METAL FRAME WITH DUAL GLAZE AND GRID						
	18	5'-0"	8'-0"	ALL METAL FRAME WITH DUAL GLAZE AND GRID						
	19	9'-6"	8'-0"	ALL METAL FRAME WITH DUAL GLAZE AND GRID						
	20	4'-0"	8'-0"	ALL METAL FRAME WITH DUAL GLAZE AND GRID						
1	21	2'-6"	8'-0"	ALL METAL FRAME WITH DUAL GLAZE AND GRID						
1	22	3'-0"	5'-0"	ALL METAL FRAME WITH DUAL GLAZE AND GRID						
$\dashv$	23	3'-0"	8'-0"	ALL METAL FRAME WITH DUAL GLAZE AND GRID						
-	24	6'-0"	8'-0"	ALL METAL FRAME WITH DUAL GLAZE AND GRID						
4	25	4'-0"	8'-0"	ALL METAL FRAME WITH DUAL GLAZE AND GRID						
4	26	3'-0"	8'-0"	ALL METAL FRAME WITH DUAL GLAZE AND GRID						
_	27	6'-0"	8'-0"	ALL METAL FRAME WITH DUAL GLAZE AND GRID						
_	28	1'-6"	8'-0" 8' 0"	ALL METAL FRAME WITH DUAL GLAZE AND GRID						
	29	6'-0" 3'-0"	8'-0" 8'-0"	ALL METAL FRAME WITH DUAL GLAZE AND GRID						
	30	3'-0"	8'-0"	ALL METAL FRAME WITH DUAL GLAZE AND GRID ALL METAL FRAME WITH DUAL GLAZE AND GRID						
	32	6'-0"	8'-0"	ALL METAL FRAME WITH DUAL GLAZE AND GRID						
7	33	6'-6"	8'-0"	ALL METAL FRAME WITH DUAL GLAZE AND GRID						
1	34	3'-0"	8'-0"	ALL METAL FRAME WITH DUAL GLAZE AND GRID						
1	35	6'-0"	8'-0"	ALL METAL FRAME WITH DUAL GLAZE AND GRID						
$\dashv$	36	1'-6"	8'-0"	ALL METAL FRAME WITH DUAL GLAZE AND GRID	un un					
$\dashv$	37	1'-6"	8'-0"	ALL METAL FRAME WITH DUAL GLAZE AND GRID						
-	38	3'-0"	5'-0"	ALL METAL FRAME WITH DUAL GLAZE AND GRID						
4	39	3'-0"	8'-0"	ALL METAL FRAME WITH DUAL GLAZE AND GRID						
	40	6'-0"	8'-0"	ALL METAL FRAME WITH DUAL GLAZE AND GRID						
	41	3'-0"	8'-0"	ALL METAL FRAME WITH DUAL GLAZE AND GRID						
	42	3'-0"	8'-0"	ALL METAL FRAME WITH DUAL GLAZE AND GRID						
	43	3'-0"	8'-0"	ALL METAL FRAME WITH DUAL GLAZE AND GRID						
	?	?	?	ALL METAL FRAME WITH DUAL GLAZE AND GRID	~-					



ISSUED FOR CONSTRUCTION APRIL 25TH, 2023



POST OFFICE BOX 380432 DUNCANVILLE, TEXAS 75138 phone: 214-245-8024 e-mail: d3architecture@yahoo.com

# FOR DILIP NANDEKAR 3429 HAYNIE AVE

REVISION

A CITY COMMENTS 04-19-23
A CITY COMMENTS 04-07-23
A CITY COMMENTS 03-22-23
A CITY COMMENTS 02-20-23
A CITY COMMENTS 12-10-22
A CITY COMMENTS 09-30-22
A CITY COMMENTS 08-09-22
A CITY COMMENTS 07-26-22

07-26-2022

PROJECT NUMBER
2022.0726.006
SHEET TITLE

SCHEDULES

SHEET OF X



# GENERAL NOTES

# General Notes

- 1. By accepting these drawings, Owner acknowledges that any changes made by another Engineer or Architect before, during, or after construction removes any and all liability of the Original Design Company's due to discrepancies between these drawings and existing site conditions.
- 2. If, in the course of construction, the Owner hires a separate Engineer/Architect to perform quality control for this project, any and all liability of the Original Design Company's is hereby waived should said Engieer/Architect make changes to the design contained herein without prior notification.
- 3. All construction shall comply with the 2012 IBC and all applicable State, Federal, & Local codes & amendments.
- 4. The Contractor shall examine and become familiar with all contract documents in their entirety, survey the project and become familiar with the existing conditions and scope of work. All costs submitted shall be based on thorough knowledge of all work and materials required. Any discrepancy and/or uncertainty as to what material or product is to be used should be verified with the owner and/or the engineer.
- 5. The Contractor shall be solely responsible for construction means, methods, techniques, sequences, and procedures required for safe execution and completion of work, and for initiating, maintaining, and supervising all safety precautions and programs in connection with the work.
- 6. The Contractor shall pay all fees, give all notices, file all necessary drawings and obtain all permits and certificates or approval required in connection with all work under these Contract Documents. He or She shall comply with all laws, ordinances, rules, and regulations of all authorities having jurisdiction.
- 7. Contractor shall verify all measurements at the site and be responsible for accuracy and correctness of same.
- 8. Contractor shall coordinate his work with all other trades. notify Owner, and Engineer of any discrepancies prior to construction.
- 9. Store materials in spaces designated by the Owner and remove rubbish from premises as often as necessary or as directed.
- 10. The Contractor shall not store building materials, stage construction operations from, nor gain access to the construction site over adjacent properties.
- 11. All work and equipment shall be cleaned to the satisfaction of the Owner before turning same over to the Owner.
- 12. There shall be no deviation from specifications without the written approval of the Owner, Architect, and/or Engineer. All materials & specifications T.B.D. until approved by Owner.
- 13. All spoils of excavation (piers, footings, trenches, etc.) not reused shall be exported from the site and disposed of by the Contractor.
- 14. Shop drawings shall be submitted to the Owner for approval prior to ordering and installation of any equipment.
- 15. It is the responsibility of the Contractor to supervise various trades on each building phase to allow sufficient room for all equipment.

# Plan Notes:

- rian Notes:

  16. Construction plans without the City of University Park's "Released For Construction"

  stamp are not valid for construction and shall be removed from the construction site.
- 17. Any errors, omissions, or inconsistencies on these drawings or any variations or ambiguities between these drawings and actual site and construction conditions and/or requirements shall be brought to the attention of the Architect/Engineer.
- 18. In the event a discrepancy is found in the contract documents, the Owner, Architect, and Engineer shall be notified immediately.
- 19. Contractor shall verify all dimensions in the field and notify the Engineer of any discrepancies prior to construction.
- 20. Do not scale drawings; dimensions govern. If there is a discrepancy between large scale and small scale drawings, contact the Engineer for clarification.
- 21. Refer to MEP and Landscape drawings for exterior building lighting.
- 22. Refer to Civil and Landscape drawings for location of sidewalks, retaining walls and details.
- 23. Refer to Civil drawings for dimensional control plan, grading, fire hydrant locations, curb cuts, utilities and transformer locations (to be verified with local utility service). On-site and off-site utilities shall be installed in accordance with the Civil drawings and any and all public utilities and other authorities having jurisdiction.
- 24. Contract drawings and specifications represent finished structure. They do not indicate method of construction. Contractor shall provide all measures necessary to protect structure and personnel during construction. Such measures shall include, but not be limited to, bracing, shoring of loads due to construction equipment, excavation protection, scaffolding, job site safety, etc. Observation visits to the site by the Architect, Owner, or Engineer shall not include inspection of above items.

# Construction Notes:

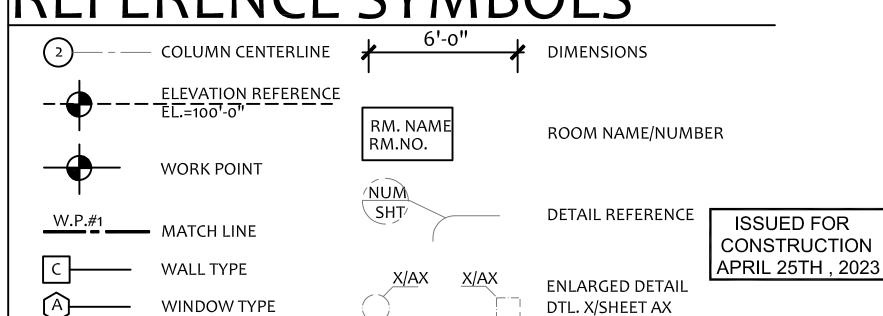
- 25. The Contractor shall not allow concrete trucks on the floor slab. Cranes used for the erection of structural steel will be allowed on the floor slab subject to Owner/Engineer review and approval. All vehicles & equipment to be diapered.
- 26. All holes in concrete floor slab caused by the attachment of formwork, bracing, construction traffic, material storage, or other reasons shall be cleaned and patched. Reference the Structural notes for patching requirements.
- 27. All weld burns, scratches, etc. on all structural steel and metal deck shall be properly cleaned and repainted.
- 28. Drywall installation shall be in conformance with the Gypsum Associations recommended practices for thickness, nailing, taping, and correct stud spacing.
- 29. O.S.B. is an acceptable substitute for plywood (see structural).
- 30. All wood blocking to be fire retardant treated. All wood in contact with masonry or concrete to be wolmanized.
- 31. Storefront & curtain wall systems shown are the result of preliminary engineering by manufacturer. Details shall be used for bidding purposes only.
- 32. All exterior doors shall receive weather-stripping unless specifically noted to the contrary within these documents.
- 33. Fire extinguishers shall be purchased and installed by the contractor per local Fire Department & Building Code requirements. Hose extinguishers shown on the drawings shall be furnished and installed by the Contractor.
- 34. Penetrations through walls, floors, or ceilings noted to be fire rated partitions shall be fire safed and sealed as required to maintain the rating of the wall. Ductwork penetrations through rated assemblies shall be provided with an appropriately tested/rated fire damper.
- 35. All piping, conduit, etc. run on the exterior face of the building shall be painted to match the adjacent surface.
- 36. All security, data, telephone, electrical, wiring, etc. inside the building area shall be run in conduit for its entire length, if required by code. All conduit exposed to view shall be painted to match adjacent surface. Wiring in other areas shall be run in conduit as required by the Contract Documents and applicable codes.
- 37. Mechanical Contractor to verify with Architect any chase area not shown on drawings.
- 38. No PVC may be used in return air plenums unless it is fire protected per City, State, or Federal building code.

# sting Notes:

- 39. All construction, testing, and materials shall meet or exceed all requirements of the City of University Park.
- 40. All testing shall be done by an approved laboratory at the expense of the contractor. The City will only accept signed original copies of all testing reports for review.
- 41. Floor flatness testing shall be provided by an independent consultant and paid for by the Contractor.



ALUMINUM ి <sub>కా</sub>ంత్రాల కొయ్ది ించ్చు ం BRICK STEEL FIRE SAFING CARPET View. GYP. WALL BOARD STONE CONCRETE INSULATION, BATT WOOD, BLOCKING CONCRETE **MASONRY UNITS** INSULATION, RIGID WOOD, ROUGH >><REFERENCE SYMBOLS



# ASBESTOS NOTICE:

NOTHING IN THESE DOCUMENTS SHALL IMPOSE LIABILITY ON THE ARCHITECT/ENGINEER FOR CLAIMS, LAWSUITS, EXPENSES, OR DAMAGES ARISING FROM, OR IN ANY MANNER RELATED TO THE EXPOSURE TO OR THE HANDLING, MANUFACTURE, OR DISPOSAL OF ASBESTOS, ASBESTOS PRODUCTS, OR HAZARDOUS WASTE IN ANY OF ITS VARIOUS FORMS, AS DEFINED BY THE ENVIRONMENTAL PROTECTION AGENCY.

CONTRACTOR SHALL IDENTIFY AND NOTIFY THE OWNER AND ARCHITECT/ENGINEER OF THE PRESSENCE OF ASBESTOS OR OTHER SUSPECTED HAZARDOUS MATERIALS BEFORE INITIATING THE DEMOLITION OF SAME, AT WHICH TIME APPROPRIATE IDENTIFICATION AND REMOVAL OF SUCH SUSPECTED MATERIALS BY A LICENSED AND APPROVED CONTRACTOR SHALL COMMENCE. METHOD AND COSTS OF REMOVAL SHALL BE APPROVED AND PAID FOR DIRECTLY BY THE OWNER.



POST OFFICE BOX 380432 DUNCANVILLE, TEXAS 75138 phone: 214-245-8024 e-mail: d3architecture@yahoo.com

# NEW RESIDENCE FOR DILIP NANDEKAF 3429 HAYNIE AVE DALLAS, TEXAS 75205

REVISION

CITY COMMENTS 04-19-23
CITY COMMENTS 04-07-23
CITY COMMENTS 03-22-23
CITY COMMENTS 02-20-23
CITY COMMENTS 12-10-22

CITY COMMENTS 08-09-22
CITY COMMENTS 07-26-22

3 CITY COMMENTS 09-30-22

07-26-2022

PROJECT NUMBER
2022.0726.006
SHEET TITLE

GENERAL NOTES

HEET OF X





# **GENERAL NOTES:**

- 1. The General Contractor is solely responsible for all permitting and must submit plans for permits to the City of University Park prior to commencement with any construction. The Contractor shall assume full responsibility for paying any fines or penalties for failure to receive proper permitting.
- 2. Prior to the commencement of any hardscape construction, all piers, footings, slabs, trails, walks, and walls, are to be surveyed, laid out, staked, and have steel reinforcing in place for approval by the Designer, Owner, or Engineer. (The Contractor shall assume full responsibility for any demolition, adjustments, or reconstruction, resulting from unauthorized construction activities.)
- . Contractor shall verify all underground utilities, pipes, and structures before proceeding with  $2\sqrt{6}\sqrt{5}\sqrt{4}\sqrt{3}\sqrt{2}\sqrt{1}$  construction. Contractor shall take full responsibility of any cost incurred due to damaging the said items. Contractor to be responsible for replacing these items.
- 4. Contractor shall not willfully proceed with construction as designed when it is obvious that unknown obstructions, inconsistencies, area discrepancies, and or grade differences exist that may not have been known during the design process. Such conditions must immediately be brought to the attention of the Architect. If they are not the Contractor shall assume full responsibility for all necessary revisions due to failure to give such notifications.
- 5. Contractor is responsible for any coordination with subcontractors as required to accomplish all areas of construction operations.
- 6. S.W.P.P.P. (Storm Water Pollution and Prevention Plan) The General Contractor shall be responsible for creation, maintenance, and completion of the plan as per these plans and the specification manual.
- Contractor shall limit construction traffic on any other property and is responsible for repairing or replacement of any existing fixtures damaged during construction operations. Repairs to all disturbed areas shall be of equal or better conditions.
- 8. Contractor must remove all rock, concrete chunks, slag, rebar, and poor quality soil, upon completion of the project. Contractor shall dispose of all refuse at any Texas Department of Health licensed landfill or the City of University Park landfill, whichever the city requires.
- 9. Any grading, landforms, and swales shall have a finished grade that is fine and smooth for positive drainage.
- 10. Compact all native soil non-sub-grade fill materials to 90% standard proctor density.
- 11. Compact all sub-base and sub-grade areas to 98% standard proctor density, at optimum soil moisture content.
- 12. Where notes, construction details, or material specifications, are omitted for any part of the work, the construction methods and materials shall be the same as other similar work shown or noted on the plans, as existing in other areas of the project, per the manufacturer's specifications, or per the City of University Park's Standards and Ordinances.
- 13. Work required by the Contract Documents for which no separate bid item has been provided in the Bid Proposal, shall be provided for as required by the Contractor. Cost for such work shall be considered subsidiary to the total amount bid. No separate payment will be made for subsidiary work. Similarly, work provided by the contractor to facilitate the successful completion of the project for which no bid item has been provided, should also be considered as subsidiary to the total amount bid or the item it pertains to.

4	3	

IMPERVIC			Α
Total Lot Are	ea = 9,73	6 sqft	
Street Yard Zone		2,203	sqft
Front Driveway		644	sqft
Front Walkway		40	sqft
Front Steps		38	sqft
Street Yard Area Maximum Allowed	(50%)	1,101	. sqft
Street Yard Area provided (32%)		714	sqft

**IMPERVIOUS AREA** 

Main House

Front Steps

Back Porch

A/C Pad

Front Walkway

Rear Driveway

Trash Enclosure

Retaining Wall

Total Lot Area = 9,736 sqft

Total Impervious Maximum Provided

(52%)

3,793 sqft

40 sqft

38 sqft

154 saft

446 sqft

9 sqft

15 sqft

28 sqft

(46%)

5063 Sqft | 4,523 sqft |

Total Lot Area = 9,736 sqft						
Midpoint-Rear l	ot Line Ar	ea = 4,888 sqft				
Street Yard Area Maximum Allow		2,444 sqft				
structure Area Provided	(49.9%)	2,430 sqft				

# **LAYOUT NOTES:**

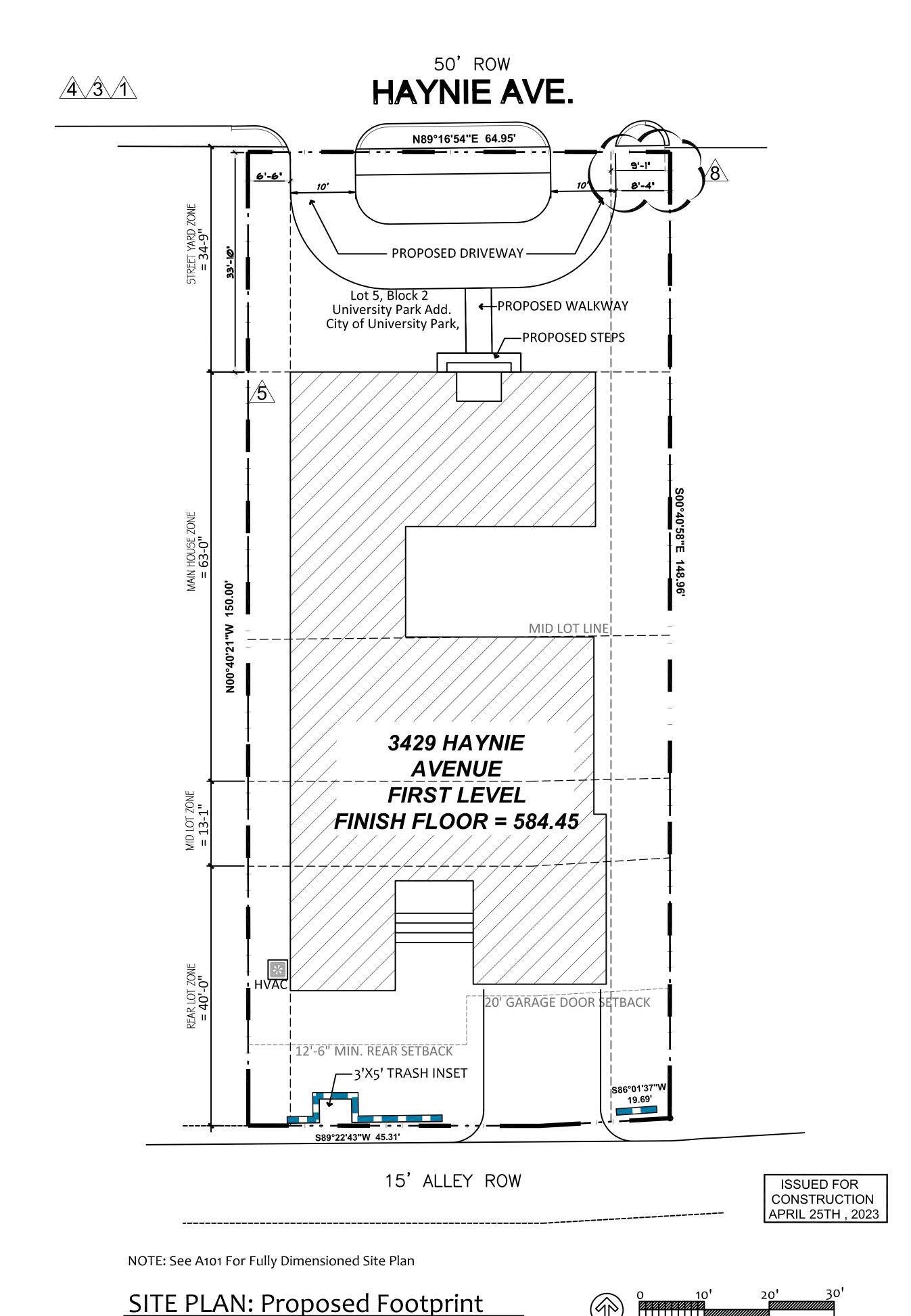
Control, Grades, and Elevation1. All finished concrete surfaces shall be a minimum of 1 inch above the finished grade.

 All accessible routes must meet current T.A.S. (Texas Accessibility Standards). Contractor must be familiar and comply with all of the T.A.S. standards as they pertain to this project.

Tree Removal and Protection

- 3. Some trees adjacent to construction activities may require protection as directed by the Architect. This will be accomplished with orange snow fence and steel t-posts completely encircling the affected tree / trees at the drip line. Protection shall remain in place until conclusion of the project.
- Do Not Use Trees For Parking. Do not park or store equipment or materials beneath the canopy of any trees at any time within this city's limits.

- Land Clearing and Grubbing5. Clear and grub all trees, undergrowth, and brush where noted on the plan. Save any specimen trees inside the work zone as directed by the Architect.
- Saw-cut and remove the existing concrete side walks and drives where noted. Concrete Flatwork, Walks, and Trails
- Expansion Joints locate where shown in the details or plan denoted by a bold line.
- Control Joints locate as shown on the plan.
- Compact all sub-grades to 98% S.P.D. at optimum moisture content.
- Cushion sand layer beneath concrete flatwork and walks to be 4 inches in depth.
- Surface of concrete flatwork, walks, and trails to have a light broom non-slip finish.





POST OFFICE BOX 380432 DUNCANVILLE, TEXAS 75138 phone: 214-245-8024 e-mail: d3architecture@yahoo.com

# FOR DILIP NANDEKAF 3429 HAYNIE AVE DALLAS, TEXAS 75205

REVISION

A CITY COMMENTS 04-19-23
A CITY COMMENTS 04-07-23
A CITY COMMENTS 03-22-23
A CITY COMMENTS 02-20-23
A CITY COMMENTS 12-10-22
A CITY COMMENTS 09-30-22

CITY COMMENTS 09-30-22

CITY COMMENTS 08-09-22

CITY COMMENTS 07-26-22

ISSUE DATE

07-26-2022

**PROJECT NUMBER** 2022.0726.006

SHEET TITLE

DEVELOPMENT SITE PLAN

SHEET



# **BUILDING LAYOUT NOTES:**

- Control, Grades, and Elevation:
- 1. All finished concrete surfaces shall be a minimum of 1 inch above the finished grade.

Veneer Walls (Stone, Brick, Stucco, Etc.):

- 2. Brick: Modular thin veneer, Grade SW brick, alternately stacked (unless noted otherwise).
- 3. Stucco.: Standard three coat with fine texture finish. Control joints according to elevations, 20' o.c. max.
- 4. Siding: NewTechWood Composite or Fiber Cementious Board. Refer to manufacturer's installation guides.
- 5. Place ladder type horizontal reinforcement at every other
- 6. Mortar joints: all joints shall be a tuck point concave tooled joint with a 3/8" width.

- Veneer Walls (Stone, Brick, Stucco, Etc.): 7. Construction Joints: Vertical masonry movement joints to
- be 20' o.c. max, unless noted otherwise, and shall not cross lintels or brick shelf angles.
- Cutting of masonry blocks: all cutting, trimming, or shaping shall be done by a motorized masonry saw. Breaking or splitting will not be accepted.
- 9. Weep holes: Provide at 24" o.c. at the base of the masonry facade one course above the foundation and immediately above all other flashing.
- 10. Flashing: Provide galvanized steel flashing at the base of the masonry facade one course above the foundation. Provide flashing above all bond beams and openings.
- 11. Sealant: All masonry surfaces to be coated with Behr Premium Waterproofer if requested by Owner.

# Stud Walls.:

- 12. Wood Studs: All exterior, demising, load bearing, and wet wall studs to be 2"x6" spaced at 16" on center. All other interior walls to be 2"x4" studs spaced at 16" on center. Refer to Structural Drawings for load bearing stud layout, sections, and details.
- 13. Fasteners: Fasten sheathing/decking to framing as specified in Structural Notes.
- 14. Sheathing: All exterior sheathing used in Cavity Walls to be Wood Structural Panel (ex: OSB).
- 15. Vapor Barrier: Tyvek HomeWrap or approved equal.

  Vapor barrier used over sheathing to be wrapped above flashing at the base and above window locations.

# **General Notes:**

16. Refer to plan sheet A501 for wall sections.

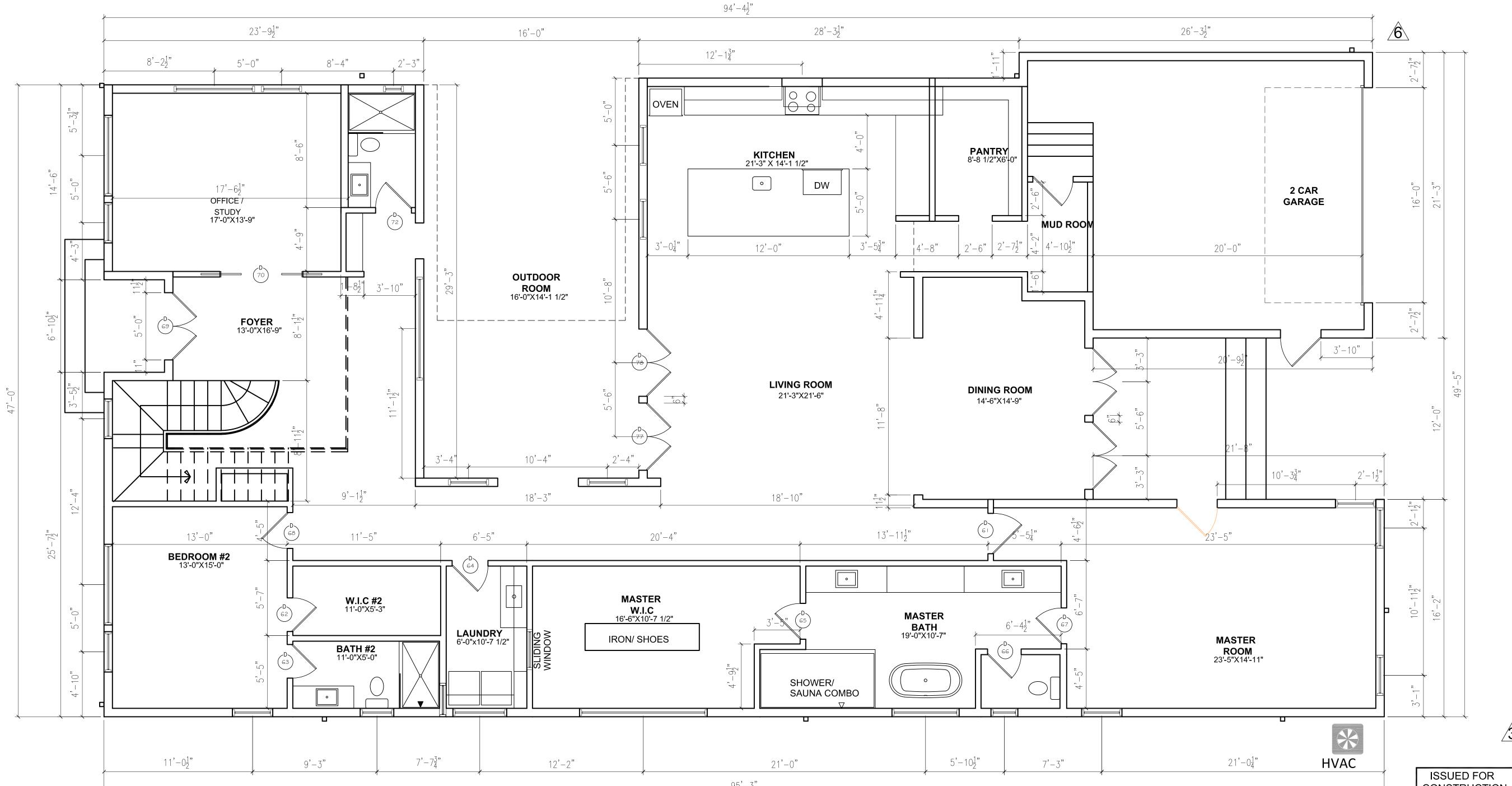
- 17. All columns, beams, struct., connections, and details shall be built based on structural drawings.
- 18. Work required by the Contract Documents for which no separate bid item has been provided in the Bid Proposal, shall be provided for as required by the Contractor. Work provided by the Contractor to facilitate the successful completion of the project for which no bid item has been provided, should also be considered as subsidiary to the total amount bid or the item it pertains to.

# + associates

POST OFFICE BOX 380432 DUNCANVILLE, TEXAS 75138 phone: 214-245-8024 e-mail: d3architecture@yahoo.com

# VERIFICATION OF MEASUREMENTS:

IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO VERIFY ALL DIMENSIONS & MAKE NECESSARY ADJUSTMENTS PRIOR & DURING CONSTRUCTION.



1st FLOOR PLAN

SCALE1/4"= 1'-0"

CONSTRUCTION APRIL 25TH , 2023 2022.0726.006 SHEET TITLE

ISSUE DATE

**REVISION** 

**/**8∖ CITY COMMENTS 04-19-23

⚠ CITY COMMENTS 04-07-23

♠ CITY COMMENTS 03-22-23

⚠ CITY COMMENTS 02-20-23

A CITY COMMENTS 12-10-22

**∕3**\ CITY COMMENTS 09-30-22

 $oldsymbol{\Lambda}$  CITY COMMENTS 07-26-22

07-26-2022

PROJECT NUMBER

1ST FLOOR PLAN

SHEET

# BUILDING LAYOUT NOTES:

# Control, Grades, and Elevation:

1. All finished concrete surfaces shall be a minimum of 1 inch above the finished grade.

Veneer Walls (Stone, Brick, Stucco, Etc.):

- 2. Brick: Modular thin veneer, Grade SW brick, alternately stacked (unless noted otherwise).
- 3. Stucco.: Standard three coat with fine texture finish. Control joints according to elevations, 20' o.c. max.
- 4. Siding: NewTechWood Composite or Fiber Cementious Board. Refer to manufacturer's installation guides.
- 5. Place ladder type horizontal reinforcement at every other
- 6. Mortar joints: all joints shall be a tuck point concave tooled joint with a 3/8" width.

- Veneer Walls (Stone, Brick, Stucco, Etc.): 7. Construction Joints: Vertical masonry movement joints to be 20' o.c. max, unless noted otherwise, and shall not cross lintels or brick shelf angles.
- shaping shall be done by a motorized masonry saw. Breaking or splitting will not be accepted. 9. Weep holes: Provide at 24" o.c. at the base of the

Cutting of masonry blocks: all cutting, trimming, or

- masonry facade one course above the foundation and immediately above all other flashing. 10. Flashing: Provide galvanized steel flashing at the base of
- Provide flashing above all bond beams and openings.

the masonry facade one course above the foundation.

11. Sealant: All masonry surfaces to be coated with Behr Premium Waterproofer if requested by Owner.

- Stud Walls.:
- 12. Wood Studs: All exterior, demising, load bearing, and wet wall studs to be 2"x6" spaced at 16" on center. All other interior walls to be 2"x4" studs spaced at 16" on center. Refer to Structural Drawings for load bearing stud layout, sections, and details.
- 13. Fasteners: Fasten sheathing/decking to framing as specified in Structural Notes.
- 14. Sheathing: All exterior sheathing used in Cavity Walls to be Wood Structural Panel (ex: OSB).
- 15. Vapor Barrier: Tyvek HomeWrap or approved equal. Vapor barrier used over sheathing to be wrapped above flashing at the base and above window locations.
- 16. Slope⅓" per foot slope to be achieved using built-up
- tapered insulation. Base insulation shall be a minimum of 3" thick with an R-value not less than R-15.
- 17. Roof Drains: Roof and Overflow drain(s) and scupper(s) are to drain to daylight in an inconspicuous location(s). Wade Drains 3004-198 (3003-198) pproved equal.
- 18. Downspouts: Overflow drain(s) and scupper(s) are to drain to daylight in an inconspicuous location (sc)e Drains / 3948-SS (3944-SS)
- 19. Membrane Roofing: Membrane roof shall have a minimum solar reflectance value of 0.65 (initial) and 0.5 (after 3 years) with 80% thermal emittance. Use Firestone TPO or approved equal.

# General Notes:

20. Refer to plan sheet A501 for wall sections.

- 21. All columns, beams, struct., connections, and details shall be built based on structural drawings.
- 22. Work required by the Contract Documents for which no separate bid item has been provided in the Bid Proposal, shall be provided for as required by the Contractor. Work provided by the Contractor to facilitate the successful completion of the project for which no bid item has been provided, should also be considered as subsidiary to the total amount bid or the item it pertains to.

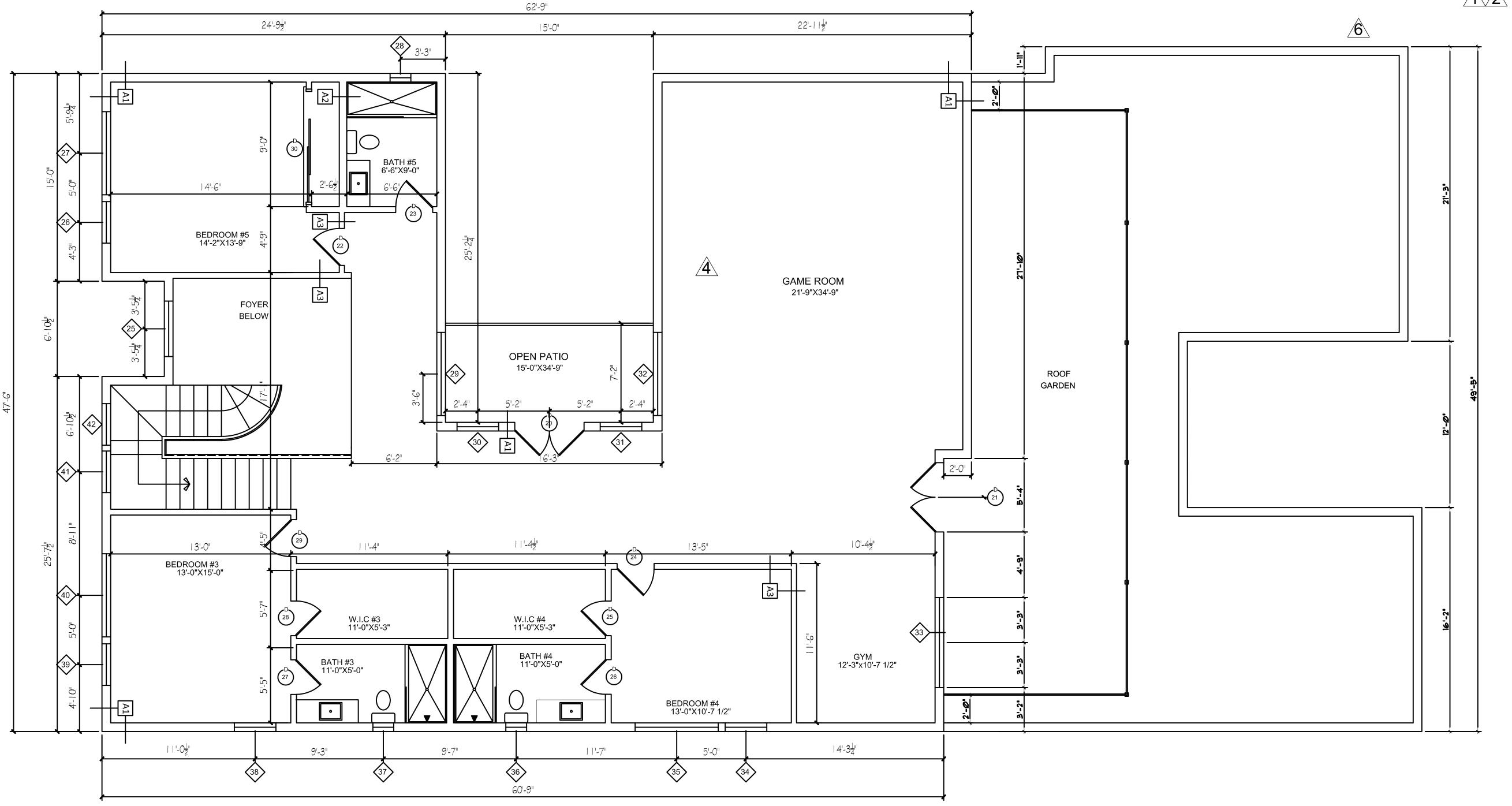


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# VERIFICATION OF MEASUREMENTS:

IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO VERIFY ALL DIMENSIONS & MAKE NECESSARY ADJUSTMENTS PRIOR & DURING CONSTRUCTION.

1 2



2nd FLOOR PLAN SCALE:1/4"= 1'-0"

ISSUED FOR CONSTRUCTION APRIL 25TH, 2023

**REVISION** 

**A** CITY COMMENTS 04-19-23 CITY COMMENTS 04-07-23 ⚠ CITY COMMENTS 03-22-23 ⚠ CITY COMMENTS 02-20-23

A CITY COMMENTS 12-10-22 A CITY COMMENTS 09-30-22 CITY COMMENTS 08-09-22

⚠ CITY COMMENTS 07-26-22 ISSUE DATE 07-26-2022

PROJECT NUMBER 2022.0726.006

SHEET TITLE

2ND FLOOR **PLAN** 

SHEET



# **BUILDING LAYOUT NOTES:**

# Stud Walls:

- Wood Studs: All exterior, demising, load bearing, and wet wall studs to be 2"x6" spaced at 16" on center. All other tapered insulation. Base insulation shall be a minimum of interior walls to be 2"x4" studs spaced at 16" on center. Refer to Structural Drawings for load bearing stud layout,
- 2. sections, and details.
- Fasteners: Fasten sheathing/decking to framing as 3. specified in Structural Notes.
- Sheathing: All exterior sheathing used in Cavity Walls to 4. be Wood Structural Panel (ex: OSB).
- Vapor Barrier: Tyvek HomeWrap or approved equal. 5. Vapor barrier used over sheathing to be wrapped above flashing at the base and above window locations.

# Roof:

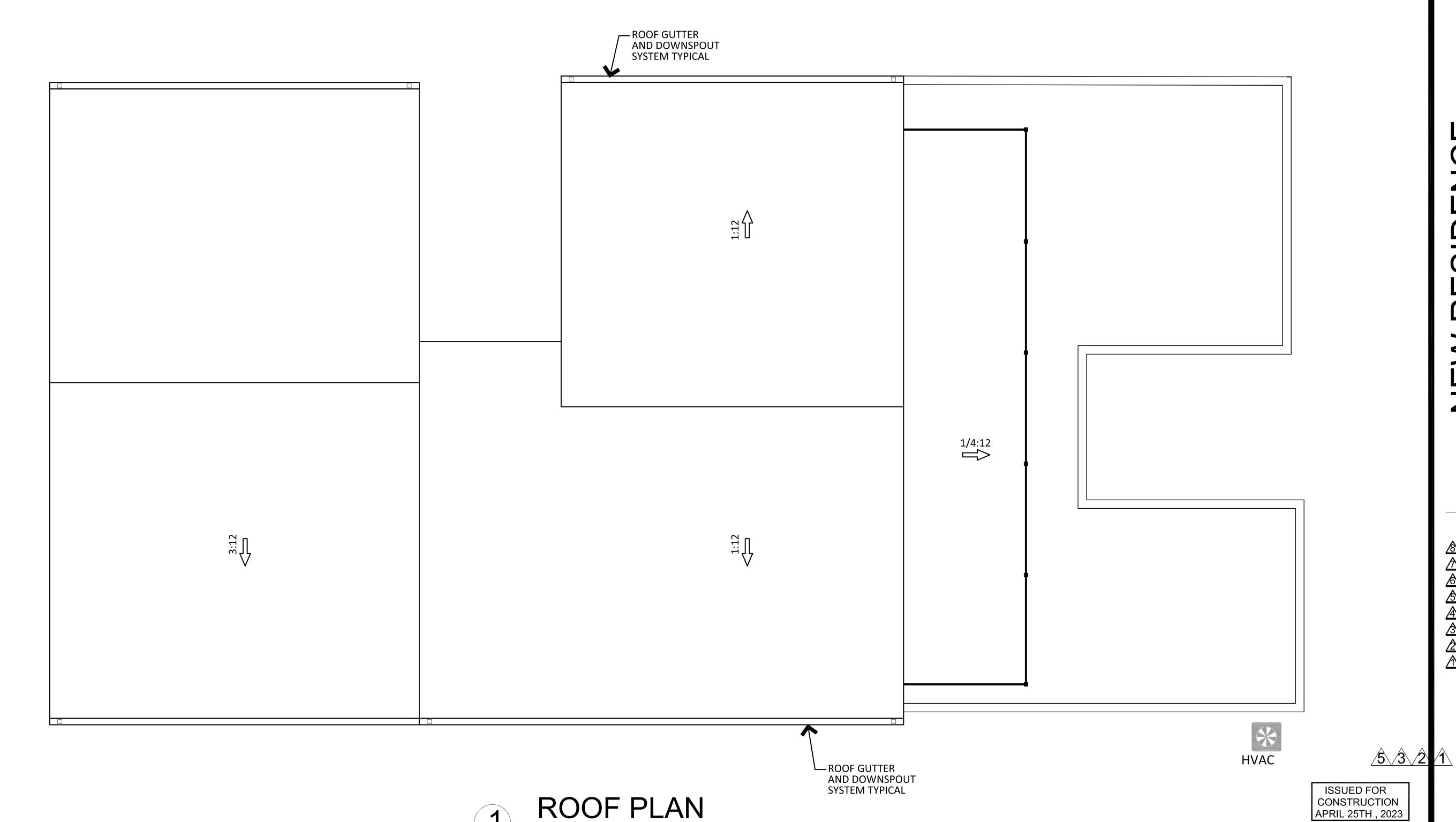
- 3" thick with an R-value not less than R-15.
- 8. Roof Drains: Roof and Overflow drain(s) and scupper(s) are to drain to daylight in an inconspicuous location(s). Wade Drains 3004-198 (3003-198) pproved equal.
- 9. Downspouts: Overflow drain(s) and scupper(s) are to drain to daylight in an inconspicuous location (sde Drains / 3948-SS (3944-SS)
- 10. Membrane Roofing: Membrane roof shall have a minimum solar reflectance value of 0.65 (initial) and 0.5 (after 3 years) with 80% thermal emittance. Use Firestone TPO or approved equal.

# General Notes:

- 12. Refer to plan sheet A501 for wall sections.
- All columns, beams, struct., connections, and details shall be built based on structural drawings.
- Work required by the Contract Documents for which no 13. separate bid item has been provided in the Bid Proposal, shall be provided for as required by the Contractor. Work
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SCALE1/4"= 1'-0"

+ associates

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**REVISION** 

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ISSUE DATE

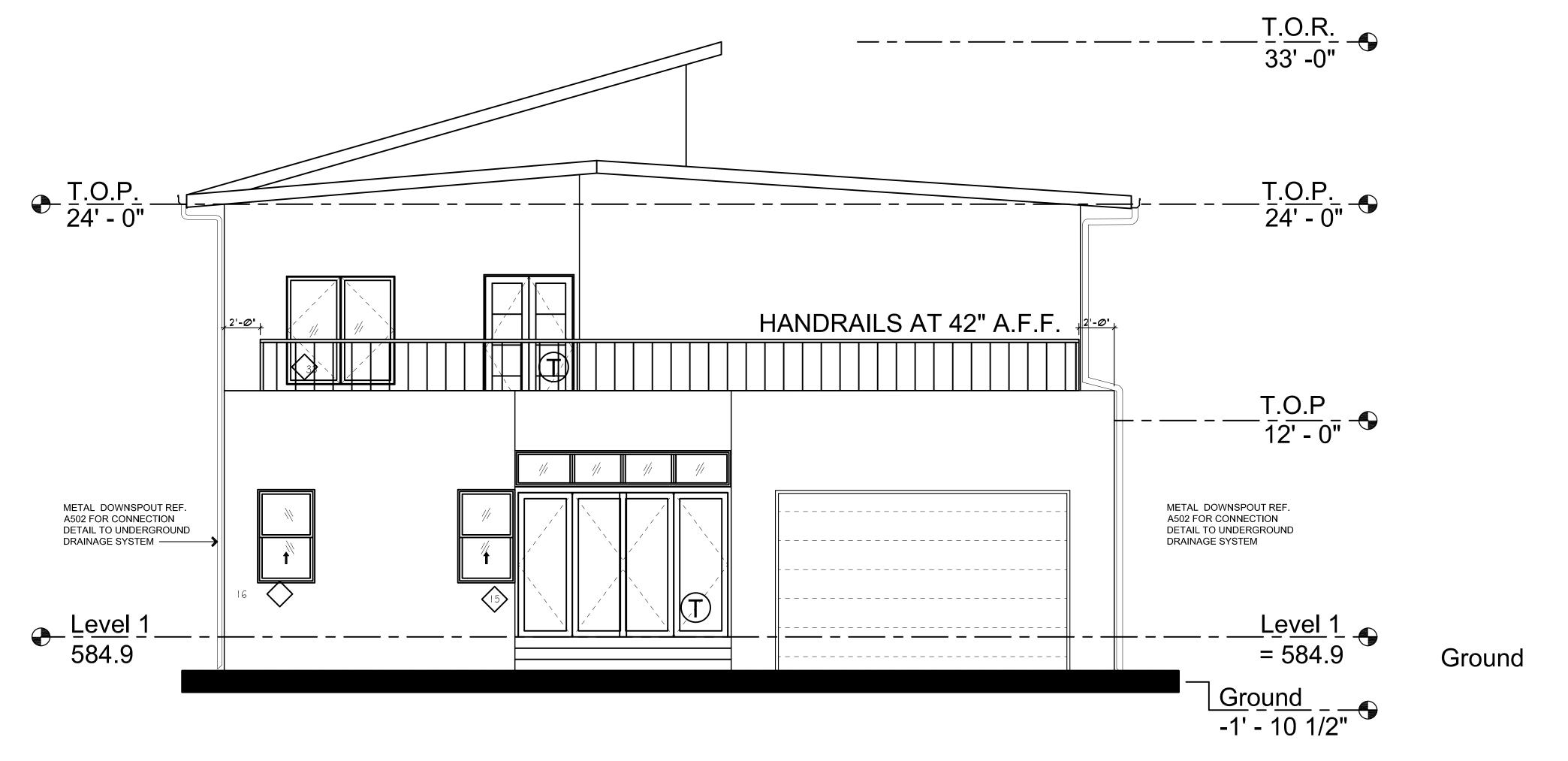
07-26-2022 PROJECT NUMBER 2022.0726.006

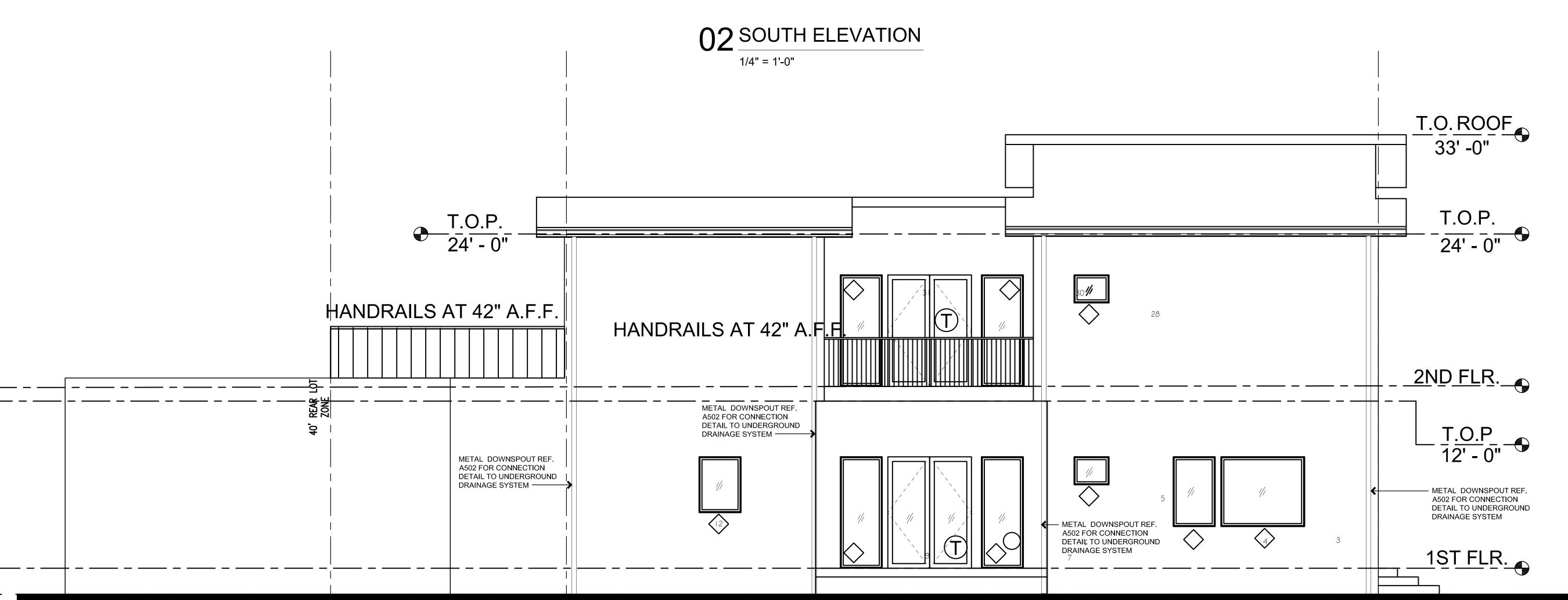
SHEET TITLE

ROOF PLAN

SHEET







designs + associates

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# FOR DILIP NANDEKAR 3429 HAYNIE AVE DALLAS, TEXAS 75205

REVISION

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ISSUE DATE 07-26-2022

PROJECT NUMBER 2022.0726.006

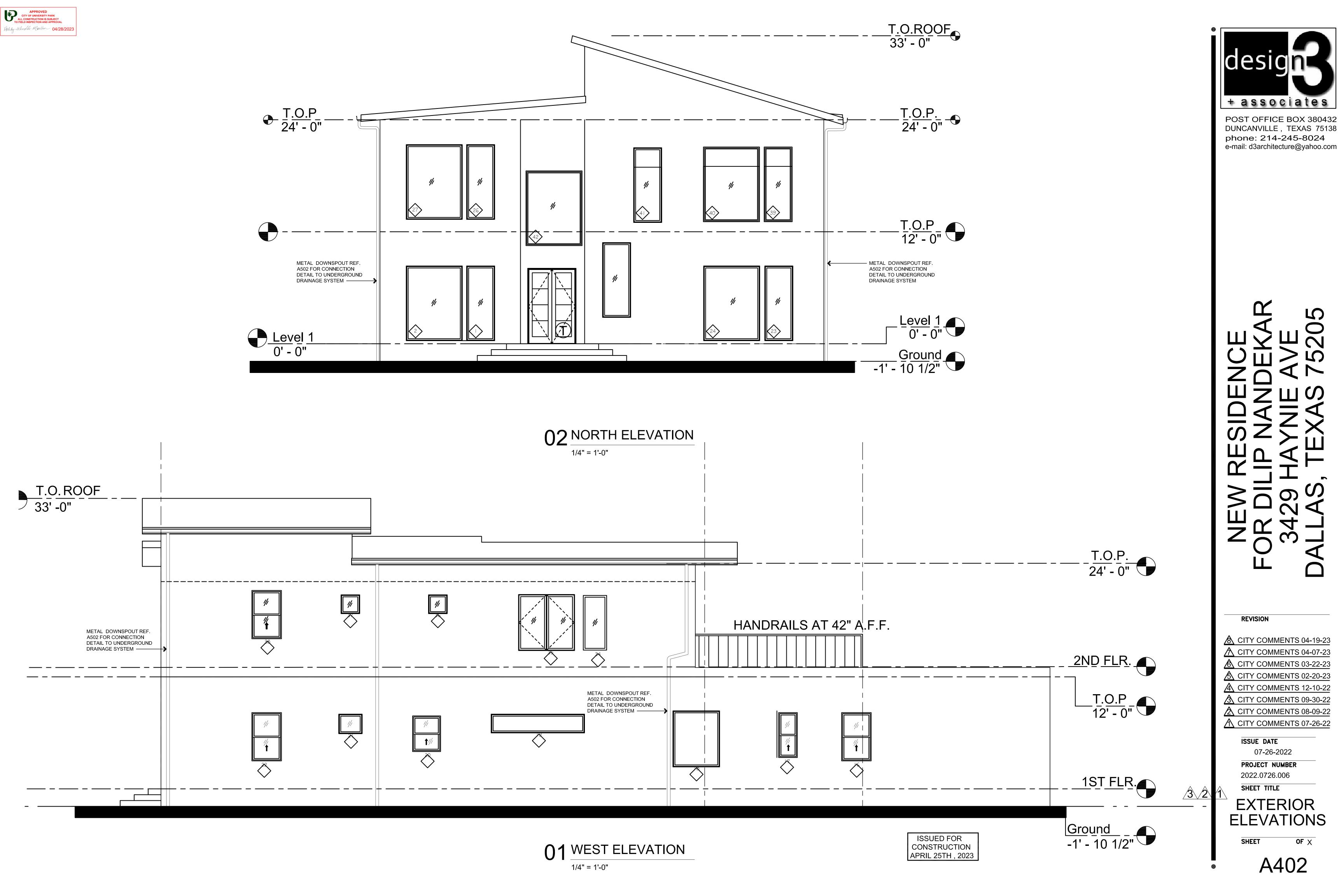
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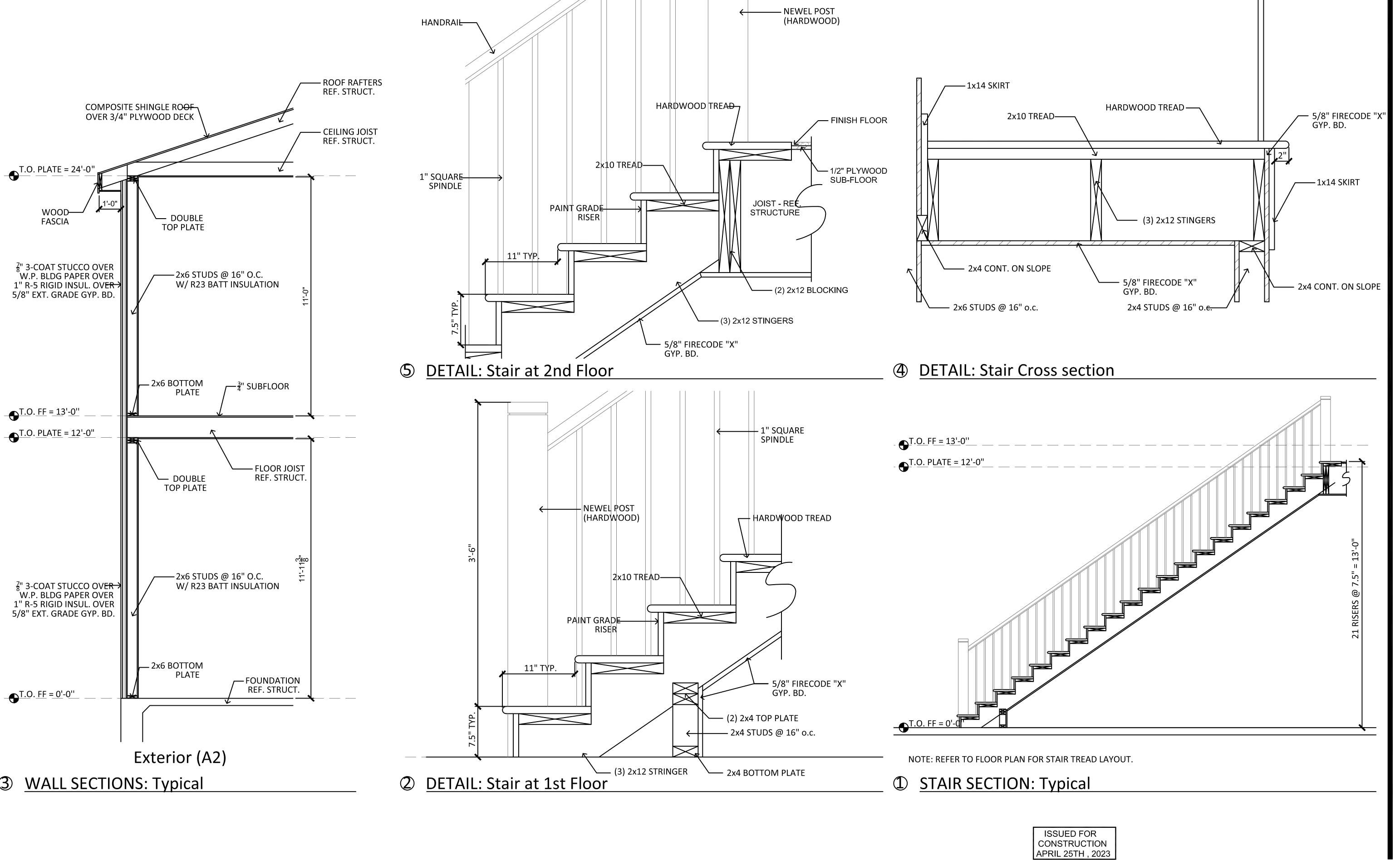
EXTERIOR
ELEVATIONS

SHEET

ISSUED FOR CONSTRUCTION APRIL 25TH, 2023

OF X A401







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# OR DILIP NANDEKAR 3429 HAYNIE AVE

REVISION

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ISSUE DATE

07-26-2022

07-26-2022

PROJECT NUMBER
2022.0726.006

SHEET TITLE

SECTIONS AND DETAILS

SHEET OF  $\chi$ 





POST OFFICE BOX 380432 DUNCANVILLE, TEXAS 75138 phone: 214-245-8024 e-mail: d3architecture@yahoo.com

# FOR DILIP NANDEKAR 3429 HAYNIE AVE DALLAS, TEXAS 75205

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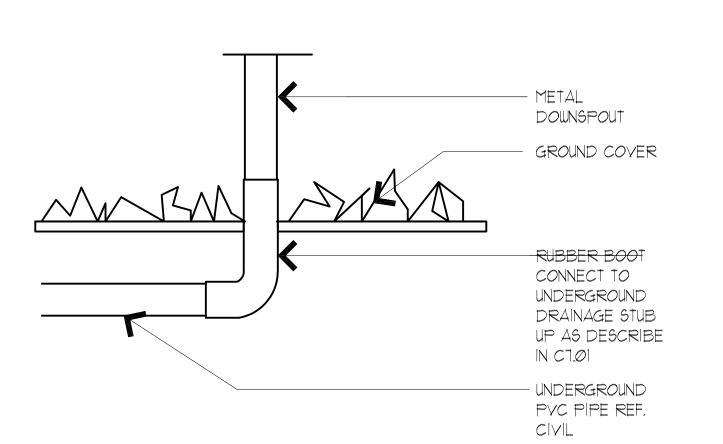
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DETAILS

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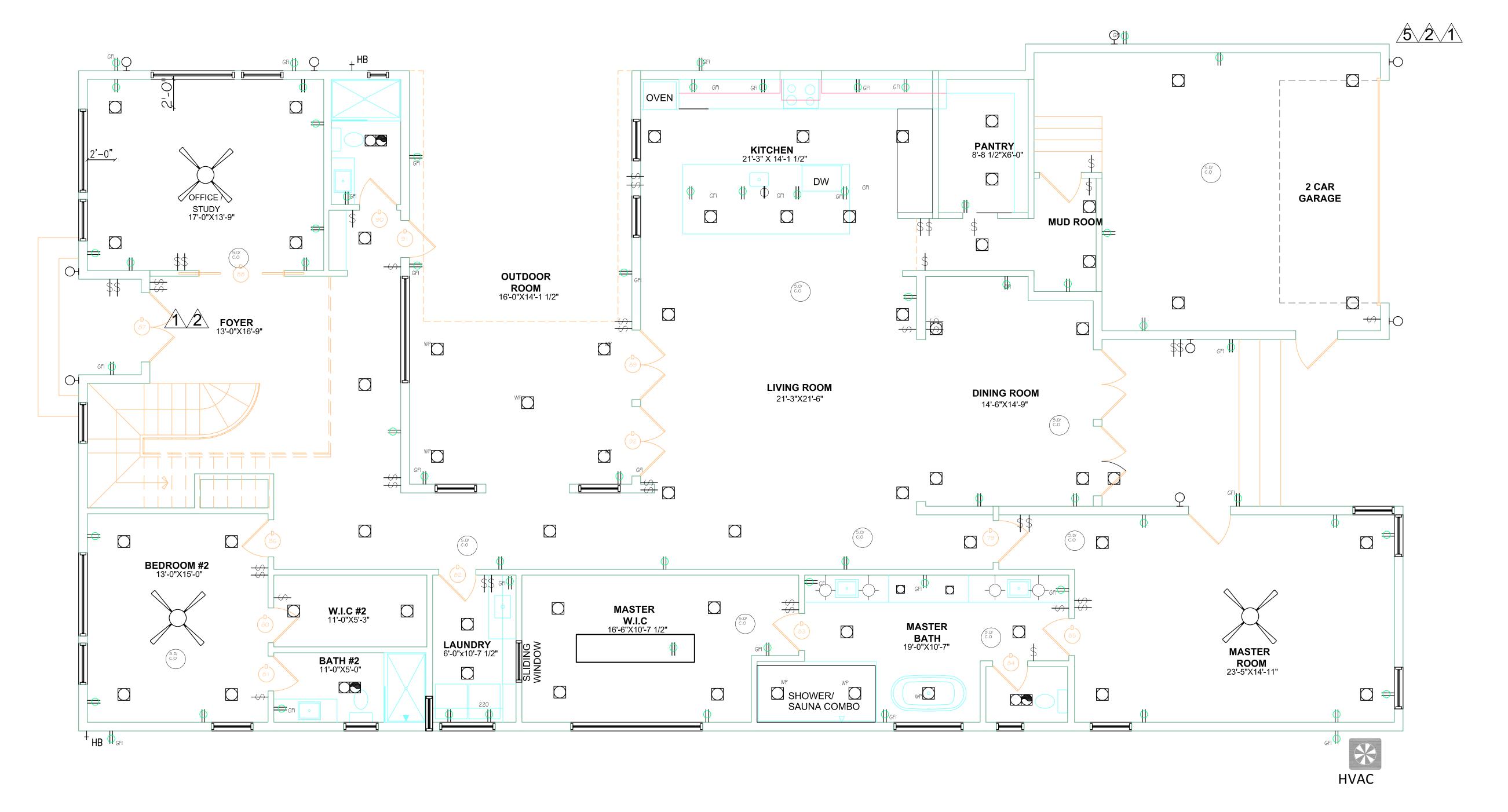
ISSUED FOR CONSTRUCTION APRIL 25TH , 2023



	ELECTRI	CAL	LEGEND
<del>+</del>	DUPLEX OUTLET		HIGH EFFICACY RECESSED LIGHT
<b>⇔</b> GFI	I I O V W/GROUND FAULT INTERUPT	$\Diamond$	HIGH EFFICACY LIGHT FIXTURE
<del>-</del> 220	220 V OUTLET	Φ	GARBAGE DISPOSAL
\$	WALL SWITCH	† <sup>GA5</sup>	GAS BIB + HB HOSE BIB WP waterproof
\$G.D	GARBAGE DISPOSAL SWITCH		FAN AND LIGHT COMBINATION
\$v.s	VACANCY SENSOR		
4	4" DIA DRYER VENT		FAN & LIGHT COMBO
S.DX C.O	SMOKE DETECTOR CARBON MONOXIDE ALARM		
δ	wall mount led light		

# VERIFICATION OF MEASUREMENTS:

IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO VERIFY ALL DIMENSIONS & MAKE NECESSARY ADJUSTMENTS PRIOR & DURING CONSTRUCTION.



1 ELECTRICAL PLAN: 1st Floor SCALE:1/4"= 1'-0"



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# FOR DILIP NANDEKAR 3429 HAYNIE AVE DALLAS, TEXAS 75205

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CITY COMMENTS 07-26-22

PROJECT NUMBER
2022.0726.006
SHEET TITLE

ELECTRICAL
PLAN
1ST FLOOR

E1

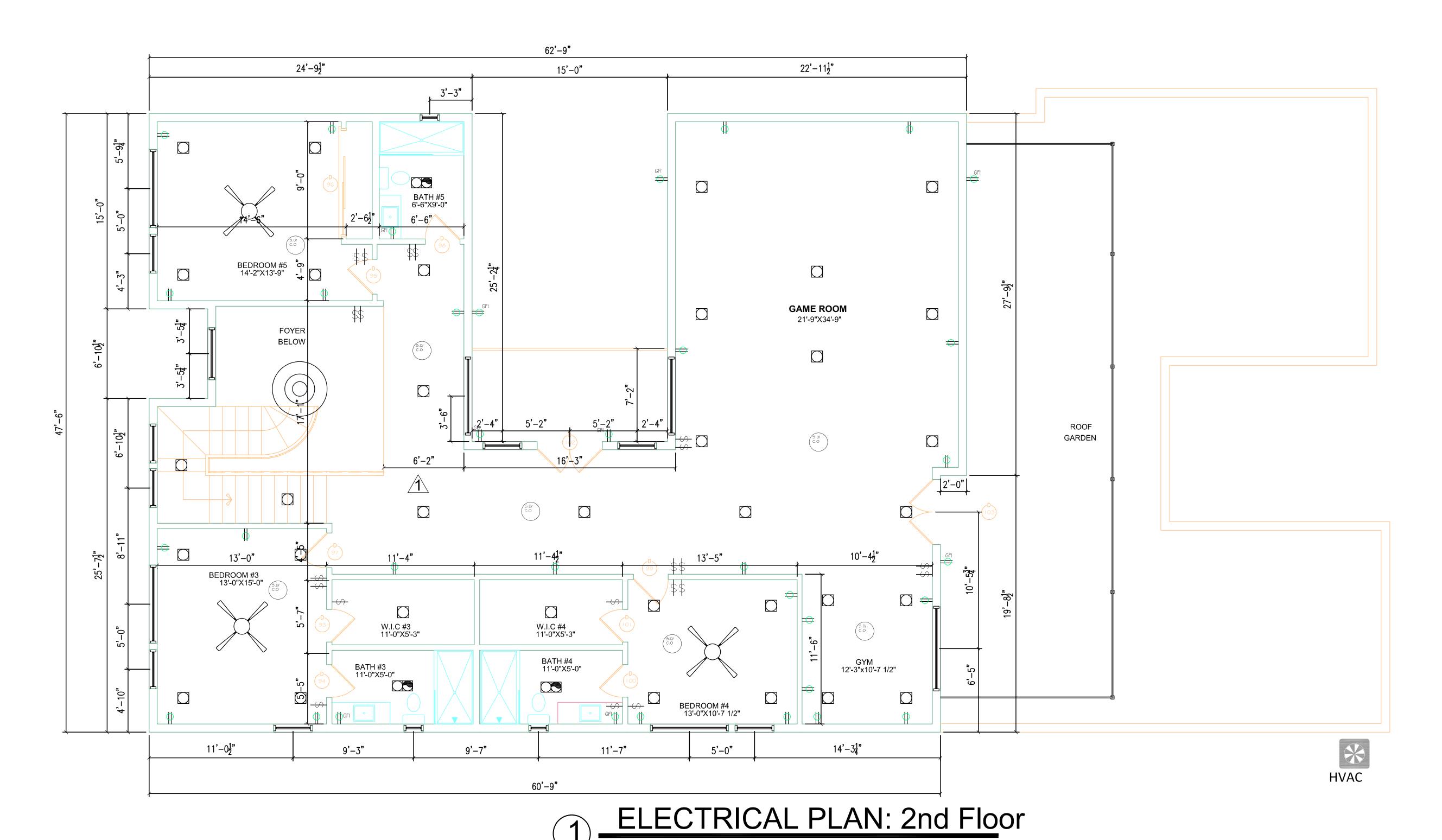
ISSUED FOR CONSTRUCTION APRIL 25TH , 2023



	ELECTRI	CAL	LEGEND
<del>\$</del>	DUPLEX OUTLET		HIGH EFFICACY RECESSED LIGHT
<b>⊕</b> GFI	I I O V W/GROUND FAULT INTERUPT	<b></b>	HIGH EFFICACY LIGHT FIXTURE
<del>=</del> 220	220 V OUTLET	Ф	GARBAGE DISPOSAL
\$	WALL SWITCH	† <sup>GAS</sup>	GAS BIB + HOSE BIB WP waterproof
\$G.D	GARBAGE DISPOSAL SWITCH		FAN AND LIGHT COMBINATION
\$v.s	VACANCY SENSOR		
\$	4" DIA DRYER VENT		FAN & LIGHT COMBO
S.DX C.O	SMOKE DETECTOR CARBON MONOXIDE ALARM		
8	wall mount led light		

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SCALE1/4"= 1'-0"

ISSUED FOR CONSTRUCTION APRIL 25TH , 2023



# FOR DILIP NANDEKAR 3429 HAYNIE AVE JALLAS, TEXAS 75205

REVISION

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ISSUE DATE

07-26-2022

PROJECT NUMBER

2022.0726.006

SHEET TITLE

ELECTRICAL

PLAN
2ND FLOOR
SHEET OF X

E2

# **GENERAL NOTES:**

# APPLICABLE CODES:

A. These general notes apply to all structural drawings. This project is designed in accordance with the International Building Code (IBC), 2015 Edition and the 'Minimum Design Loads for Buildings and Other Structures' (ASCE/SEI 7-10).

B. All material and workmanship shall be in accordance with applicable provisions of the codes specified above.

# LOADS USED IN DESIGN:

Α.	Gravity	Loading
Α.	Gravity	Loading

Roof Snow Loads:	5 psf
Roof Live Loads:	20 psf
Roof Dead Loads:	15 psf
Floor / Deck Live Loads:	50 psf
Floor / Standard Deck Dead Loads:	15 psf
Concrete Deck Live Loads:	50 psf
Concrete Deck Dead Loads:	115 pcf (MAX)

## B. Wind Loading

Velocity Ultimate	(3 sec gust)	115 mph
Exposure	-	C
Risk Factor		II

-0.18 / 0.18 (Enclosed) Internal Pressure Coeff., GCpi . . .

A. DO NOT SCALE PLANS. The layout shown is based solely on the architectural plans by A U Design, last dated 09/08/21. Changes affecting the layout shown must be specific and clearly conveyed to GreenWorks Engineering and Consulting in written form as a change for inclusion into these plans.

- Contractor and/or client shall verify all dimensions and layout prior to construction. All dimensions shall be checked against the architectural plans referenced above and any discrepancies shall be brought to the attention of the Architect and Engineer of Record immediately. Refer to mechanical, electrical and architectural plans for openings not shown on the structural plans.
- C. Shop drawings shall be prepared by the fabricator. Copying of these construction documents for use as shop drawings will not be permitted.
- D. All temporary shoring shall be the responsibility of the contractor.
- E. Design is based on the current applicable building codes listed above and shall be void if the building code at the time of construction changes from the codes listed above.

A. Concrete has been designed and shall be constructed in accordance with the American Concrete Institute 'Building Code Requirement Reinforced Concrete' and 'Specifications for Structural Concrete for Buildings' (ACI 318 and ACI 301) latest editions. Section 1.3"Inspection" of ACI 318 is deleted in its entirety, see 'Field Observations' paragraph. All concrete shall be of stone aggregate, unless noted otherwise.

Concrete Mixes: See specifications for any additional durability requirements.

For Slabs on Grade 4,000 psi minimum compressive strength at 28 days. Type I/II Cement, minimum of 540 pounds per cubic yard. Fly Ash not allowed. 1" maximum aggregate size. 3% maximum entrained air.

4" maximum slump (8" with super-plasticizer). Water reducing agent (use in accordance with manufacturer's recommendations). Mix 'B' For Footings, Grade Beams, and Miscellaneous Concrete

3,500 psi minimum compressive strength at 28 days. Type I/II Cement, minimum of 470 pounds per cubic yard.

3/4" maximum aggregate size. 6% maximum entrained air.

4" maximum slump (8" with super-plasticizer).

C. Reinforcing shall be new billet steel conform to ASTM A615, grade 60, except ties—shall be grade 40. Provide not less than (2) #4 around all sides of all openings in concrete and extend 2'-0'' past edges of openings. No splices Of reinforcement are permitted except as detailed or authorized by the Engineer of Record. Where permitted use contact lap splices, (36) bar diameters minimum.

D. For the proper placement of the reinforcement provide chairs, bolsters, additional reinforcement, and accessories necessary to support the reinforcement at the positions shown on plans. Support of reinforcement on form ties, wood, brick, brickbat or other unacceptable material, will not be permitted.

Grout under base plates and bearing plates shall be high strength, non-shrink, non-metallic grout

with a minimum compressive strength, at 28 days, of 7,500 psi. F. Reinforcement shall be placed so that the following minimum concrete cover is provided, unless noted otherwise.

3" Clear 1) Concrete poured against earth. . . . 2) Formed surfaces exposed to earth or weather. 2" Clear a) #6 Bars and larger. . . . 1-1/2" Clear b) #5 Bars and smaller. . . . 3/4" Clear 3) Concrete not exposed to earth or weather. . . . 4) Beams, columns, ties, stirrups or spirals around primary reinforcement, or primary reinforcement with no ties, stirrups or spirals. . . . 1-1/2" Clear 5) Slabs. . Placed at center (U.N.O.)

G. Welded Wire Fabric (WWF) shall conform to ASTM A185. Provide WWF in flat sheets, rolled sheets are not allowed. Where permitted use contact lap splices, (50) bar diameters minimum.

H. Foundation walls below grade shall have backfill placed equally on both sides until the required levels

are reached. Walls shall be appropriately shored when backfill is placed on one side only. I. Additional (2) #4 bars (one each face) with a 2'-0" projection shall be placed diagonally across the

corners of all openings and at vertical steps in walls unless otherwise detailed on plans. J. The contractor is responsible for determining when it is safe to remove forms and/or shoring.

Forms and shoring must not be removed until the walls are strong enough to support their own weight and any superimposed loads. For foundation walls, this typically requires 12 hours of cumulative curing time at a temperature of 50°F or more. Concrete must be adequately covered during cold periods to maintain this surface temperature. Due to varying weather conditions, alternative curing processes, and the use of Type I/II cement, GreenWorks Engineering suggests forms remain in place a minimum of 3 days to assure this performance specification has been met. When forms are stripped there must be no excessive deflection, distortion, discoloration and no evidence of damage to the concrete. Adequate thermal protection of the concrete shall be continued after stripping for a cumulative period of 48 hours at 50° F, or more, after the initial pour. See applicable notes for specifications on when to backfill foundation walls.

K. Field Quality Control

Reference standard: ACI 301 Chapters 16 and 17, in latest edition. 2) Slump tests: The contractor shall provide necessary equipment and shall make test in conformity with ASTM C143. The contractor shall make slump tests on the first concrete truck of each pour and as often as deemed necessary by the contractor to maintain the required slump when directed by the Architect or Engineer of Record.

3) Control tests: a) Control tests of concrete work shall be made on every 50 cubic yards or fraction thereof of concrete placed and, in any case, minimum of once during each day's pour.

b) Each test shall consist of four standard 6" test cylinders cast and cured in accordance with ASTM C31 and ASTM C172.

c) Sample concrete at point of placement.

d) One cylinder shall be tested at the end of 7 days after placing, two cylinders shall be tested at 28 days after placing and the remaining cylinder shall be stored until its disposition is determined

e) In general, remaining cylinder will be tested only when previous test indicated unsatisfactory results.

f) Tests on remaining cylinder shall be at the expense of the

g) Architect and /or Engineer of Record reserves the right to stop future concrete work when the 7 or 28 day tests indicate unsatisfactory results until, in the opinion of the Architect and/or Engineer of Record, proper corrective measures have been taken to insure quality concrete in future work and corrections deemed necessary have been made.

h) Tests shall be made at time control tests are taken and so stated in reports to determine slump, air content, unit weight and temperature of concrete.

i) All tests shall be made in accordance with ASTM C138 or ASTM

4) Slab tolerance: Maintain surface flatness with maximum variation of 1/8" in 20 feet.

A. Structural steel, including cast in angles, plates or other sections shall be detailed and erected in accordance with the American Institute of Steel Construction (AISC) Specifications and Code of Standard Practice, latest edition.

B. All wide flange and channel structural steel shall conform to ASTM A992. All HSS members shall conform to ASTM A500, Grade-B. Pipe columns shall conform to ASTM A53, Grade—B. All other structural shapes and miscellaneous steel shall conform to ASTM A36 unless otherwise noted.

C. Column base plates shall be set on 1.1/2" non-shrink high density grout with a minimum of (4) 3/4" $\phi$  x 1'-0" anchor bolts, unless noted otherwise.

D. Shop connections shall be welded with E70xx electrodes and ground smooth where exposed. Field connections shall be made with bolts conforming to ASTM A325N unless otherwise noted. Field welds shall be made with E70xx electrodes. All welding shall be in accordance with AWS "Structural Welding Code", latest edition and performed by certified, licensed welder.

E. All beam connections not detailed on the drawings shall be standard framed beam connections as shown in Table II and III of the AISC "Manual of Steel Construction", latest edition, designed to carry the full capacity of the uniformly loaded member, unless noted otherwise.

Headed stud anchors shall conform to AWS D1.1 and shall be automatically end

G. Steel stairs to be detailed and designed by others unless noted otherwise. Stair detailer shall provide shop drawings and calculations prepared and stamped by a structural engineer registered in the state of Texas, for review by the Engineer of Record to verify they conform to the requirements of the basic structure. Fabrication shall not proceed until completion of shop drawing review by the Engineer of Record.

All exposed structural steel shall be hot dipped galvanized.

I. Field Quality Control: Inspect in accordance with AISC specifications. Materials engineer shall visually inspect all field welded connections and visually inspect all bolted connections to ascertain that all welds, bolts, nuts and required washers have been installed and are of proper type and that all facing surfaces have been brought into snug contact.

A. Framing lumber shall be Southern Pine (unless noted otherwise) and as follows or better: Stud Grade

> 2x6 or larger studs. . . #2 Grade #3 Grade Joists and Rafters . . . #2 Grade 2x and 4x Beams . . . #2 Grade

#1 Grade Beam and Stringer 6x or larger Beams . . . Glu-Lam Beams . . . 24F-V4 DF/DF unless noted otherwise #1 Grade Post and Timber Posts. . . LVL . . . 2.0 E - Fb 2800

B. All wood construction shall be in conformance with the provisions of "The National Design Specification for Wood Construction", latest edition.

C. Laminated Veneer Lumber (LVL) and prefab joists shall be manufactured by 'TrusJoist' or equivalent or shall meet APA Performance Standards, and installed per manufacturers specifications. Supplier shall furnish shop drawings showing all joists, bridging, blocking

and miscellaneous accessories for review by the structural engineer prior to fabrication. D. Where not otherwise shown on plans, all nailing or screwing shall be as indicated in the current Building Code. All sheathing must be nailed. Adhesives SHALL NOT be used in

place of nailing. Metal connectors to be provided by 'Simpson Strong-Tie' or equivalent. F. APA rated OSB may be used in lieu of plywood with prior approval from Engineer of

G. Minimum treatment for pressure treated lumber shall be as follows: 1) Wood not in contact with soil . . . . 0.25 ACQ

I. Bolt holes in lumber shall be drilled as bolt diameter plus 1/16".

2) Wood in contact with soil . . . . 0.40 ACQ H. Pressure treated lumber that has been cut shall be site treated at each cut. METAL WOOD FRAMING HARDWARE:

A. All metal wood framing hardware shall be provided by 'Simpson Strong—Tie' or

B. All metal hardware shall be installed per manufacturer's recommendations. C. All metal fasteners and hardware in contact with pressure treated lumber shall be Hot Dipped Galvanized or ZMax coated (G=185).

# SHEATHING and DECKING:

A. Roof sheathing/decking shall be a minimum of 7/16" thick CDX plywood or APA rated O.S.B. C—D interior grade with exterior glue. Minimum panel span rating of

B. Floor sheathing/decking shall be a minimum of 23/32" thick CDX plywood or APA rated O.S.B. C—D interior grade with exterior glue. Minimum panel span rating of

C. Gypsum sheathing for shear walls shall be a minimum of 1/2" thick and free of imperfections and shall conform to ASTM C79.

D. Exterior wall sheathing shall be a minimum of 7/16" thick plywood or APA rated O.S.B.

# WIRE NAILS:

A. Nail installation and materials shall be in compliance with A.I.T.C., NDS, and all applicable building code requirements.

B. Gun nails mat be used in lieu of hand nailing. Gun nail substitutions shall be as follows:

> 8d . . . .  $0.113" \times 2.5"$  $0.123" \times 3.0"$ 10d . . . . 12d . . . . 0.123" x 3.25"  $0.133" \times 3.5"$

C. Nails shall have a minimum penetration of 10 times the wire diameter unless noted otherwise on the plans.

D. Edge distance for all nails shall be a minimum of 4 times the wire diameter unless noted otherwise on the plans.

E. All nails listed /specified on the plans shall be Common.

STRUCTURAL LEGEND				
<u>-</u> S-	DETAIL # OR LETTER SHEET DETAIL IS ON	Ø	DIAMETER	
1)	SEE PLAN NOTES	(D)	DROPPED BEAM	
B1	BEAM/HDR SCHEDULE	E.N.	EDGE NAILING	
\S1>	SHEAR WALL SCHEDULE	EXIST.	EXISTING	
<u>(1)</u>	COL/POST SCHEDULE	F.F.	FINISH FLOOR	
_	SOLID BOX INDICATES LOAD FROM ABOVE (CONTINUE	(F)	FLUSH BEAM	
LA	POST DOWN TO FOUNDATION BELOW)	G.T.	GIRDER TRUSS	
л	OPEN BOX INDICATES LOAD	HSS	HOLLOW STRUCTURAL SECTION	
LA C	FROM ABOVE (CARRIED BY BEAM OR HEADER BELOW)	K	KING STUD	
	JOIST/RAFTER SPAN	K.P.	KING POST	
CANT	CANTILEVER JOIST	L.L.H.	LONG LEG HORIZONTAL	
۲۲	HANGER (PER PLAN)	L.L.V.	LONG LEG VERTICAL	
	HEADER / BEAM	LVL	LAMINATED VENEER LUMBER	
<b>~~~</b>	SHEAR WALL	O.C.	ON CENTER	
	BEARING WALL (INTERIOR)	0.S.B.	ORIENTED STRAND BOARD	
JOIST/RAFTER SPAN	R	PLATE		
İ	(BEAR ON BEAM)	P.T.	PRESSURE TREATED	
<u> </u> _	JOIST/RAFTER SPAN	REV	REVERSE	
jr 	(FLUSH FRAME TO BEAM)	R.S.	RING SHANK	
A.F.F.	ABOVE FINISH FLOOR	SIM	SIMILAR	
A.B.	ANCHOR BOLT	S.P.N.	SILL PLATE NAILING	
CANT.	CANTILEVER	Т	TRIMMER	
Ę	CENTER LINE	T.O.	TOP OF	
CONT.	CONTINUOUS	TYP	TYPICAL	

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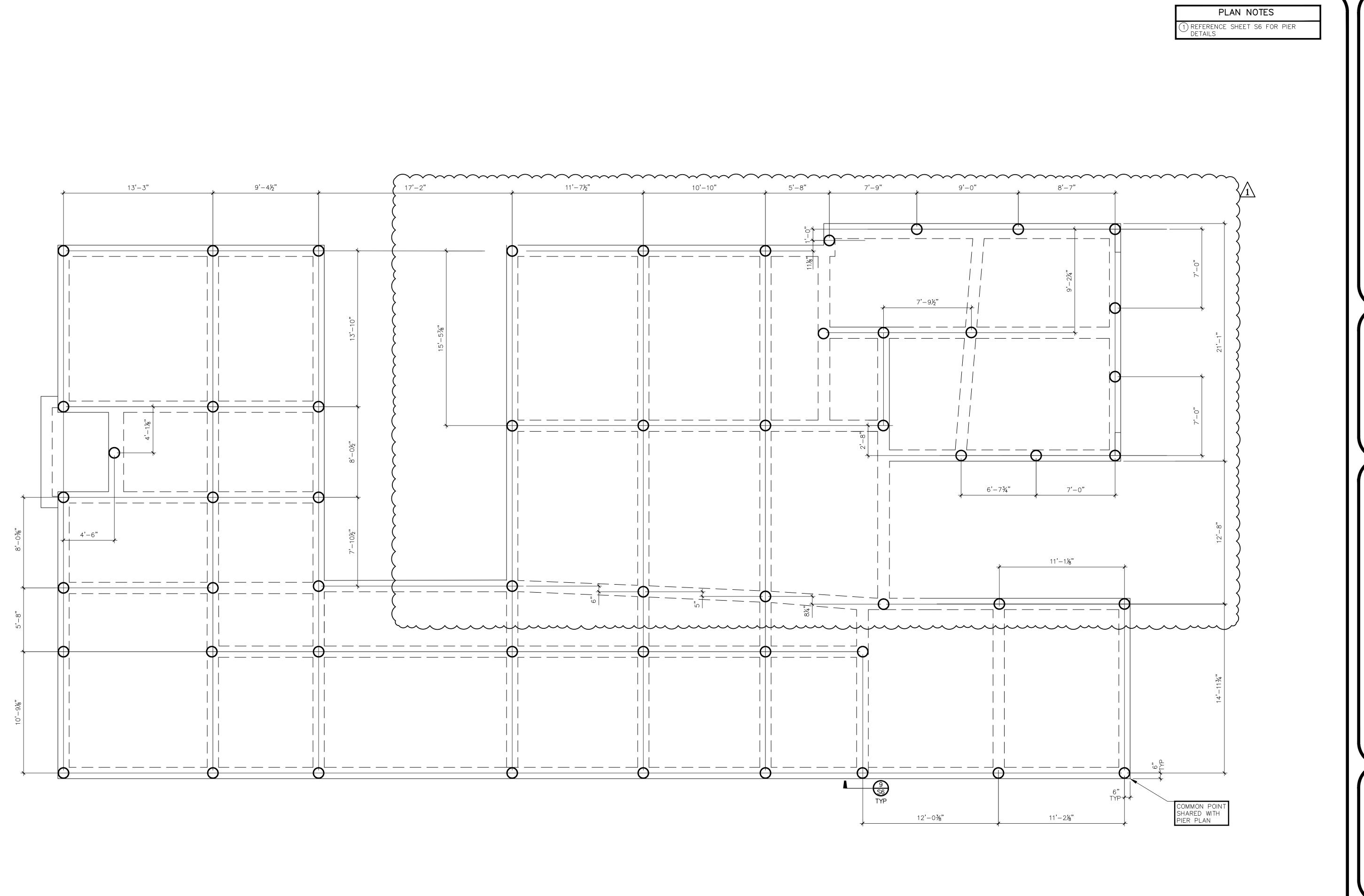
AVEN NIE HAY 29

**ENGINEER:** DRAWN BY: 01/06/2022 DATE: **REVISION:** DATE: REV 1 07/21/2022

SHEET No. 1 OF 7

PROJECT No. 45939





- SCALE: 1/4" = 1'-0" -

PIER PLAN

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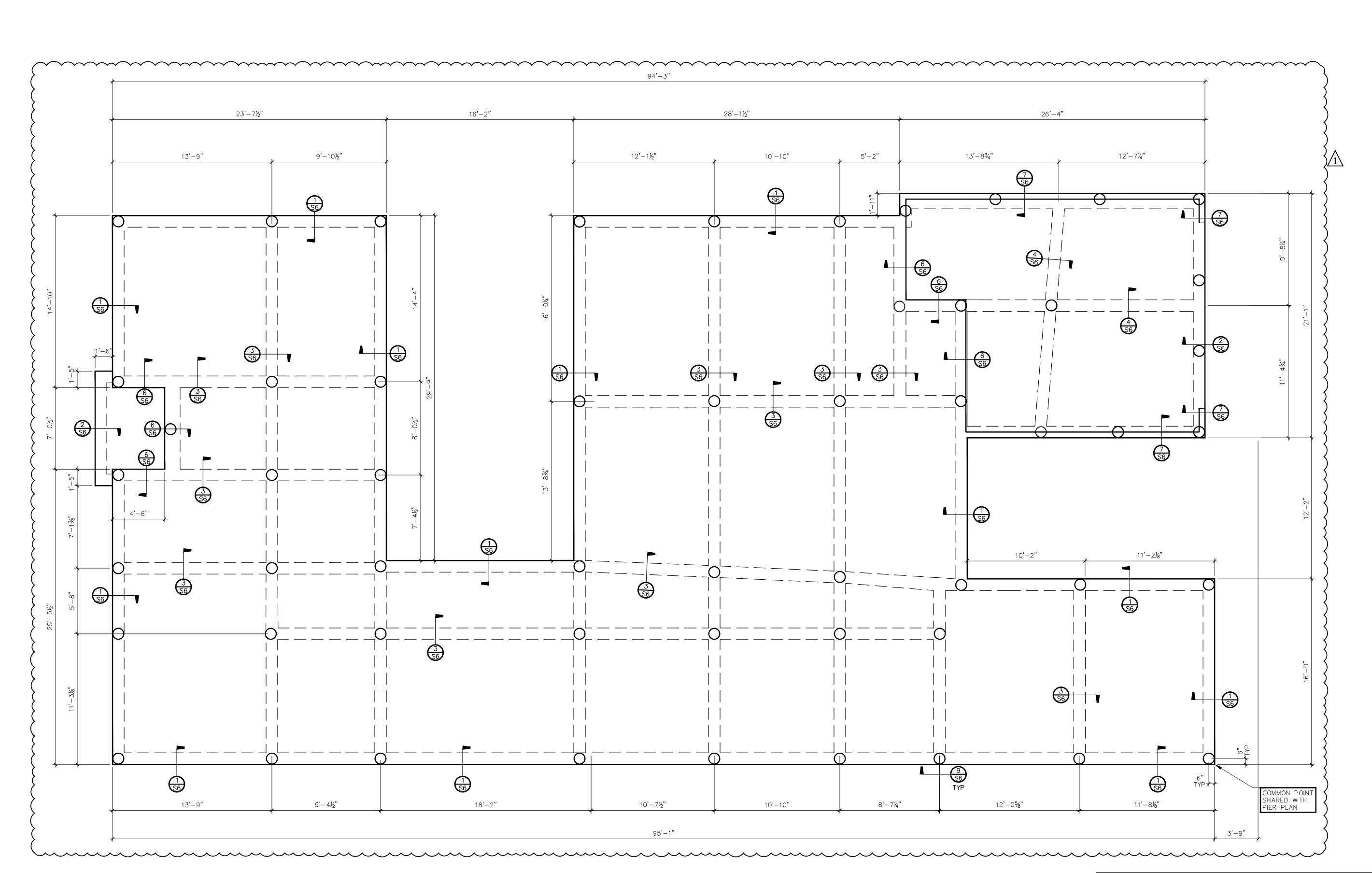
VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION





ENGINEER: DRAWN BY: DATE: 01/06/2022 REVISION: REV 1 07/21/2022

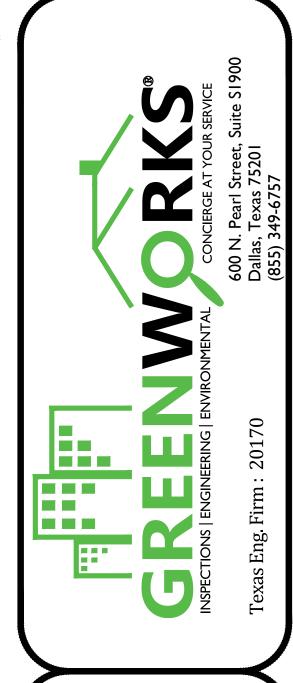




FOUNDATION PLAN

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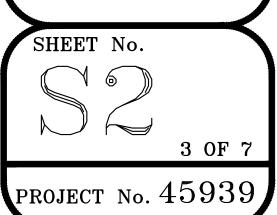
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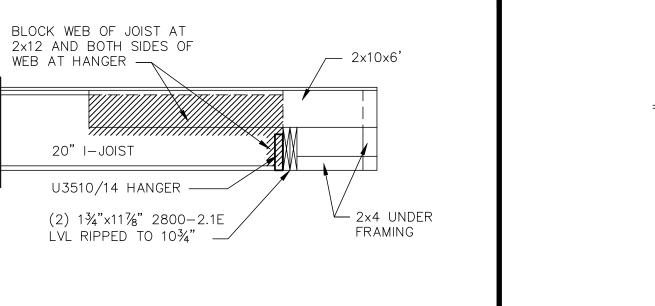




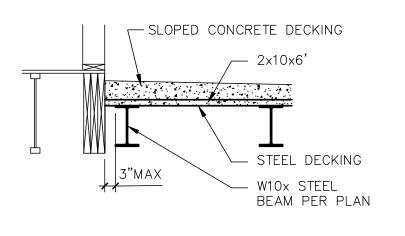
EW RESIDENCE

3429





DETAIL





ALL EXTERIOR WALL SHEATHING SHALL BE 15/32" PLYWOOD OF 5/8" OSB W/ 8d RS NAILS @ 6" O.C. ALONG SUPPORTED EDGES AND 2" O.C. IN FIELD

ALL INTERIOR WALL SHEATHING SHALL BE 1/2" GYPSUM BOARD W/ #6x1-1/4"TYPE S OR W SCREWS @ 6" O.C. ALONG SUPPORTED EDGES AND 12" O.C. IN FIELD

ALL FLOOR SHEATHING SHALL BE 23/32" PLYWOOD OF 3/4" O.S.B. W/ 10d R.S. NAILS @ 6" O.C. ALONG SUPPORTED EDGES AND 12" O.C. IN FIELD

# PLAN NOTES

- 1)18" BCI 60-2.0 DF FLOOR JOISTS @ 16" O.C. - BLOCK WEB AT BEARING EACH END
- DECKING W/6x6-W2.9xW2.9REINFORCEMENT - MINIMUM DEPTH (2)18" BCI 6500-1.8 DF FLOOR JOISTS 3½" MAXIMUM DEPTH 6¾" - SLOPE @ 24"O.C. PER ARCHITECTURAL PLANS
- (3) 2x8 SP#2 DECK JOIST @ 24" O.C.
- (11) W10x22 DECK JOISTS @ 48" O.C. (4) SOLID BLOCK TO HEADER BELOW
- (5) RIP TRIPLE PLY LVL TO 6¾" AND
- FLUSH BOTTOM OF BEAM (6) HEADER ABOVE DOOR
- (7) BEAM FLUSH IN FLOOR
- FASTEN TOP AND BOTTOM SIM TO DETAIL 10/S6 (CONNECTION AT TOP OF COLUMN IN DETAIL 10/S6 TO BE DONE ON TOP AND BOTTOM OF THIS

(9) 4,000 PSI LIGHT WEIGHT CONCRETE

(10) W10x22 DECK JOISTS @ 36" O.C.

(12) 3" XS COLUMN BETWEEN THE

PERPENDICULAR STEEL BEAMS

ON GALVANIZED CORRUGATED STEEI

(8) W10x30 DECK JOISTS @ 36" O.C.

# BEAM / HEADER SCHEDULE MEMBERS ARE ASSUMED TO BE DROPPED

- JNLESS NOTED OTHERWISE B1 (2) 2x6 SP#2
- B2 (2) 2x8 SP#2 B3 (2) 2x10 SP#2
- B4 (2) 2×12 SP#2
- B5 (3) 2x8 SP#2 B6 (3) 2×10 SP#2
- |B7| (2) 1-3/4" x 7-1/4" 2.1E-2800 DF LVL B8 (3) 1-3/4" x 7-1/4" 2.1E-2800 DF LVL B9 (2) 1-3/4" x 9-1/4" 2.1E-2800 DF LVL
- B10 (1) 1-3/4" x 11-7/8" 2.1E-2800 DF LVL |B11| (2) 1-3/4" x 11-7/8" 2.1E-2800 DF LVL
- |B12| (3) 1-3/4" x 11-7/8" 2.1E-2800 DF LVL |B13| (1) 1-3/4" x 14" 2.1E-2800 DF LVL
- |B14| (2) 1-3/4" x 14" 2.1E-2800 DF LVL |B15| (3) 1-3/4" x 14" 2.1E-2800 DF LVL
- | |B16| (2) 1-3/4" x 16" 2.1E-2800 DF LVL |B17| (1) 1-3/4" x 16" 2.1E-2800 DF LVL
- B18 (2) 1-3/4" x 18" 2.1E-2800 DF LVL
- B19 (2) 1-3/4" x 20" 2.1E-2800 DF LVL B20 W8x15
- |B21| (3) 1-3/4" x 20" 2.1E-2800 DF LVL

# COLUMN SCHEDULE

NOTE: COLUMN CALLOUTS SHOWN @ ENDS OF WINDOWS / DOORS TO BE INTERPRETED AS TRIMMER/JACK STUD

- (2) 2x4
- C2 (3) 2x4
- (4) 2x4
- C4 (2) 2x6
- C5 (3) 2x6
- C6 (4) 2x6 C7 4x4 POST
- ©9 3" XS PIPE

# HANGER SCHEDULE

- (H3) U26-2 SLOPED (H4) LSSJ28LZ
- (H6) ITS2.37/11.88
- (H8) HUS1.81/10 (H9) MIU2.37/20
- (H11) HU1.81/5
- ₩12 MIT3520 H13 HB5.5/20

IRIMMER/KI	NG STUD SCHED.
OPENING SIZE:	TRIMMERS/KING STUDS
1'-0" - 2'-8"	(1) TRIMMER (1) KING STUD
2'-9" - 5'-0"	(1) TRIMMER (2) KING STUDS
5'-1" - 8'-0"	(2) TRIMMERS (3) KING STUDS

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VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION

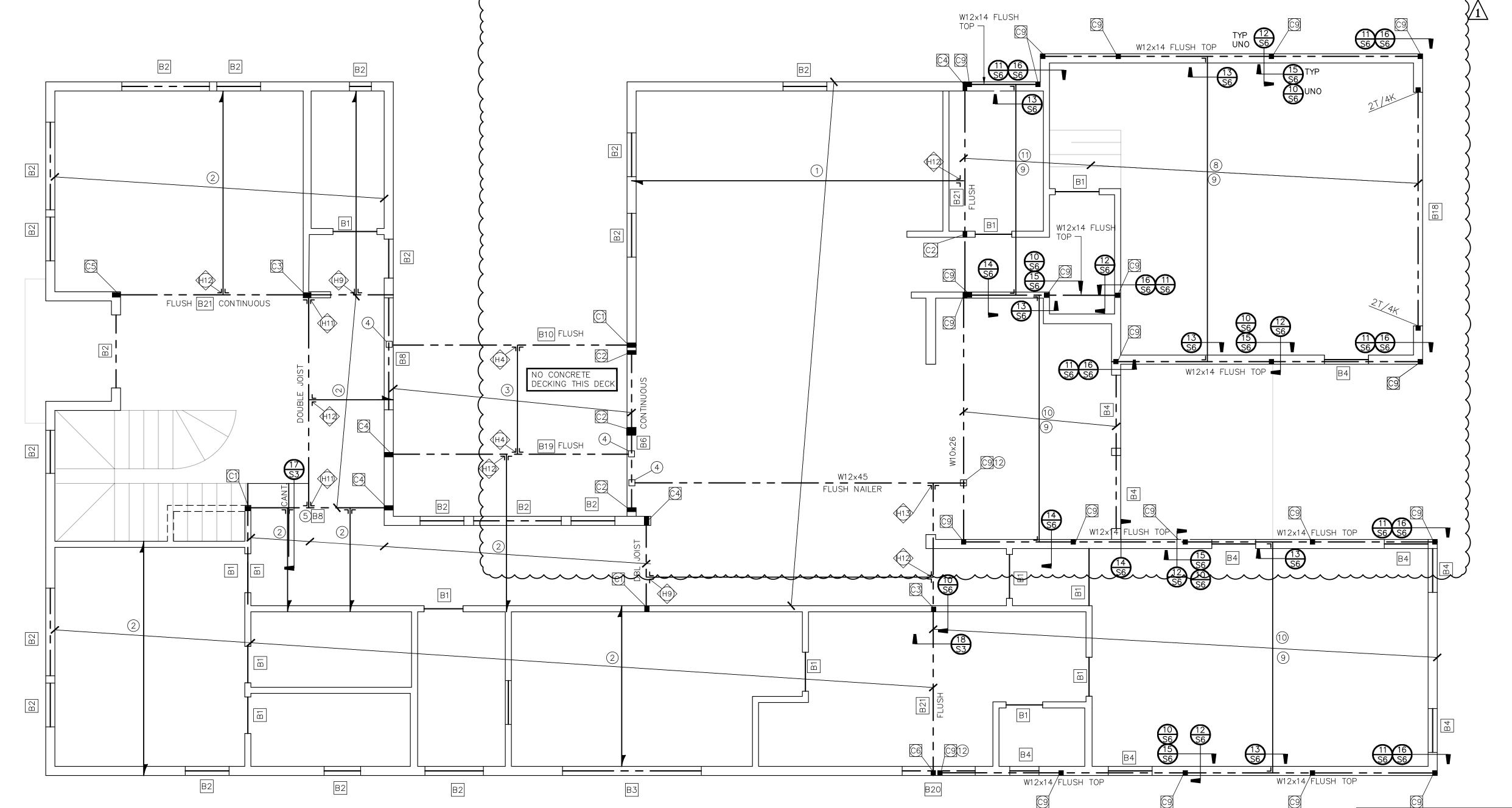


AVENUE HAYNIE 3429

ENGINEER: DRAWN BY: DATE: 01/06/2022 REVISION: REV 1 07/21/2022

SHEET No. 4 OF 7

PROJECT No. 45939



FLOOR AND LOWER CEILING PLAN

ALL INTERIOR WALLS TO BE 2x4 STUDS @ 16" O.C. UNLESS NOTED OTHERWISE

ALL EXTERIOR WALLS TO BE 2x6 STUDS @ 16" O.C. UNLESS NOTED OTHERWISE

ALL EXTERIOR WALL SHEATHING SHALL BE 15/32" PLYWOOD W/ 8d RS NAILS @ 6" O.C. ALONG SUPPORTED EDGES AND 12" O.C. IN

ALL INTERIOR WALL SHEATHING SHALL BE 1/2" GYPSUM BOARD W/ #6x1-1/4"TYPE S OR W SCREWS @ 6" O.C. ALONG SUPPORTED EDGES AND 12" O.C. IN FIELD

# PLAN NOTES

- 1) 2x8 SP#2 CEILING JOISTS @ 16" O.C. (2) 2x8 SP#2 CEILING JOISTS @ 24" O.C.
- (3) 2x8 LEDGER W/ (2) 1/2"øx4" LAG SCREWS @ 16" O.C. - FLUSH
- (4) 2x4 STUD WALL ON BEAM TO HIGH PROOF ABOVE
- (5) SOLID BLOCK TO HEADER BELOW

# BEAM / HEADER SCHEDULE

- MEMBERS ARE ASSUMED TO BE DROPPED
- UNLESS NOTED OTHERWISE
- B1 (2) 2x6 SP#2
- B2 (2) 2x8 SP#2 B3 (2) 2x10 SP#2
- B4 (2) 2x12 SP#2
  - B5 (3) 2x8 SP#2 B6 (3) 2x10 SP#2
    - |B7| (2) 1-3/4" x 7-1/4" 2.1E-2800 DF LVL |B8| (3) 1-3/4" x 7-1/4" 2.1E-2800 DF LVL
    - B9 (2) 1-3/4" x 9-1/4" 2.1E-2800 DF LVL |B10| (1) 1-3/4" x 11-7/8" 2.1E-2800 DF LVL B11 (2) 1-3/4" x 11-7/8" 2.1E-2800 DF LVL
    - |B12| (3) 1-3/4" x 11-7/8" 2.1E-2800 DF LVL |B13| (1) 1-3/4" x 14" 2.1E-2800 DF LVL
    - |B14| (2) 1-3/4" x 14" 2.1E-2800 DF LVL
    - |B15| (3) 1-3/4" x 14" 2.1E-2800 DF LVL
    - |B16| (2) 1-3/4" x 16" 2.1E-2800 DF LVL
    - |B17| (1) 1-3/4" x 16" 2.1E-2800 DF LVL
    - |B18| (2) 1-3/4" x 18" 2.1E-2800 DF LVL
    - B19 (2) 1-3/4" x 20" 2.1E-2800 DF LVL B20 W8x15

    - |B21| (3) 1-3/4" x 20" 2.1E-2800 DF LVL

# COLUMN SCHEDULE

COLUMN CALLOUTS SHOWN @ ENDS OF WINDOWS / DOORS TO BE INTERPRETED AS TRIMMER/JACK STUD

- C1) (2) 2×4
- (3) 2x4 C3 (4) 2x4
- (2) 2x6
- C5 (3) 2x6
- C6 (4) 2x6
- C7 4x4 POST (8) 6x6 POST (9) 3" XS PIPE

# HANGER SCHEDULE

- (H3) U26-2 SLOPED
- (H4) LSSJ28LZ
- (H5) LSSJ28RZ
- (H6) ITS2.37/11.88 (H7) HU414
- (H8) HUS1.81/10 (H9) MIU2.37/20
- √H10 LUS26 √H11 HU1.81/5
- √H12 MIT3520 (H13) HB5.5/20

# TRIMMER/KING STUD SCHED. OPENING SIZE: TRIMMERS/KING STUDS (1) TRIMMER(1) KING STUD (1) TRIMMER(2) KING STUDS 2'-9" - 5'-0"

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5'-1" - 8'-0"

VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION

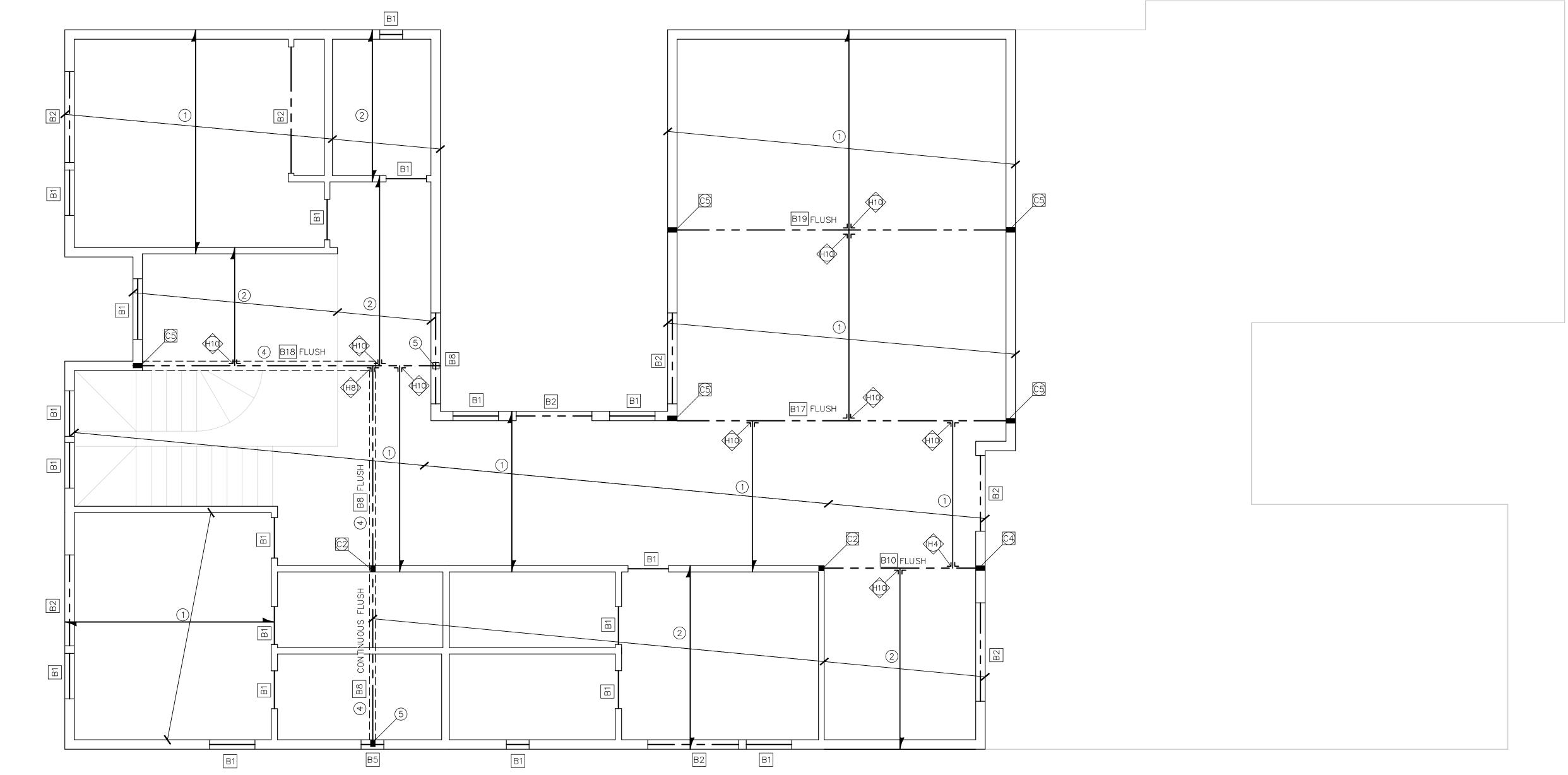


AVENUE HAYNIE

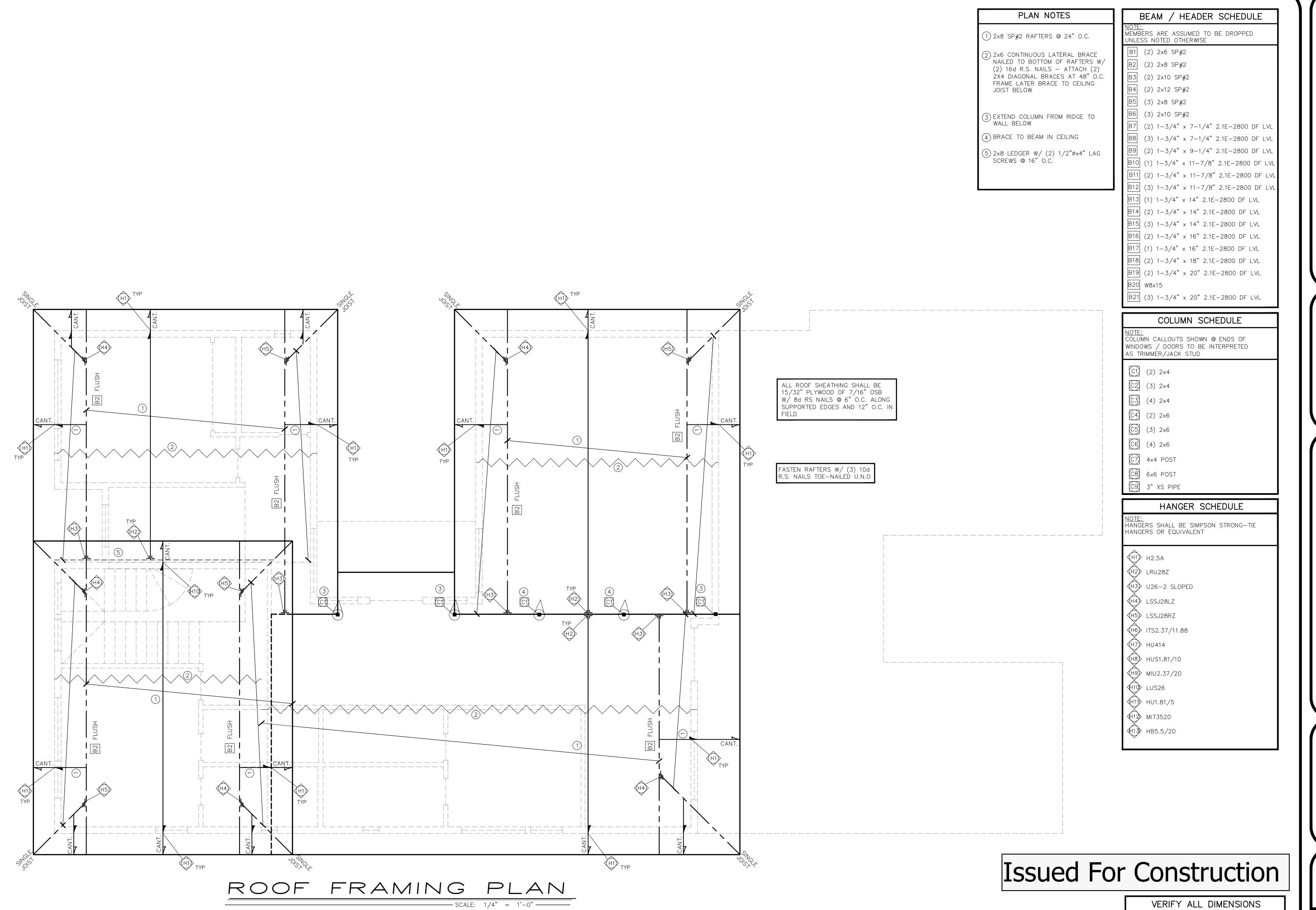
ENGINEER: DRAWN BY: DATE: 01/06/2022 REVISION: REV 1 07/21/2022

SHEET No. 5 OF 7

PROJECT No. 45939



UPPER CEILING FRAMING PLAN



FIRM: 20170 (855) 349-6757



RESIDENC TAYNIE AVENUE

ENGINEER: TA
DRAWN BY: SS
DATE: 01/06/2022
REVISION: DATE:
REV 1 07/21/2022
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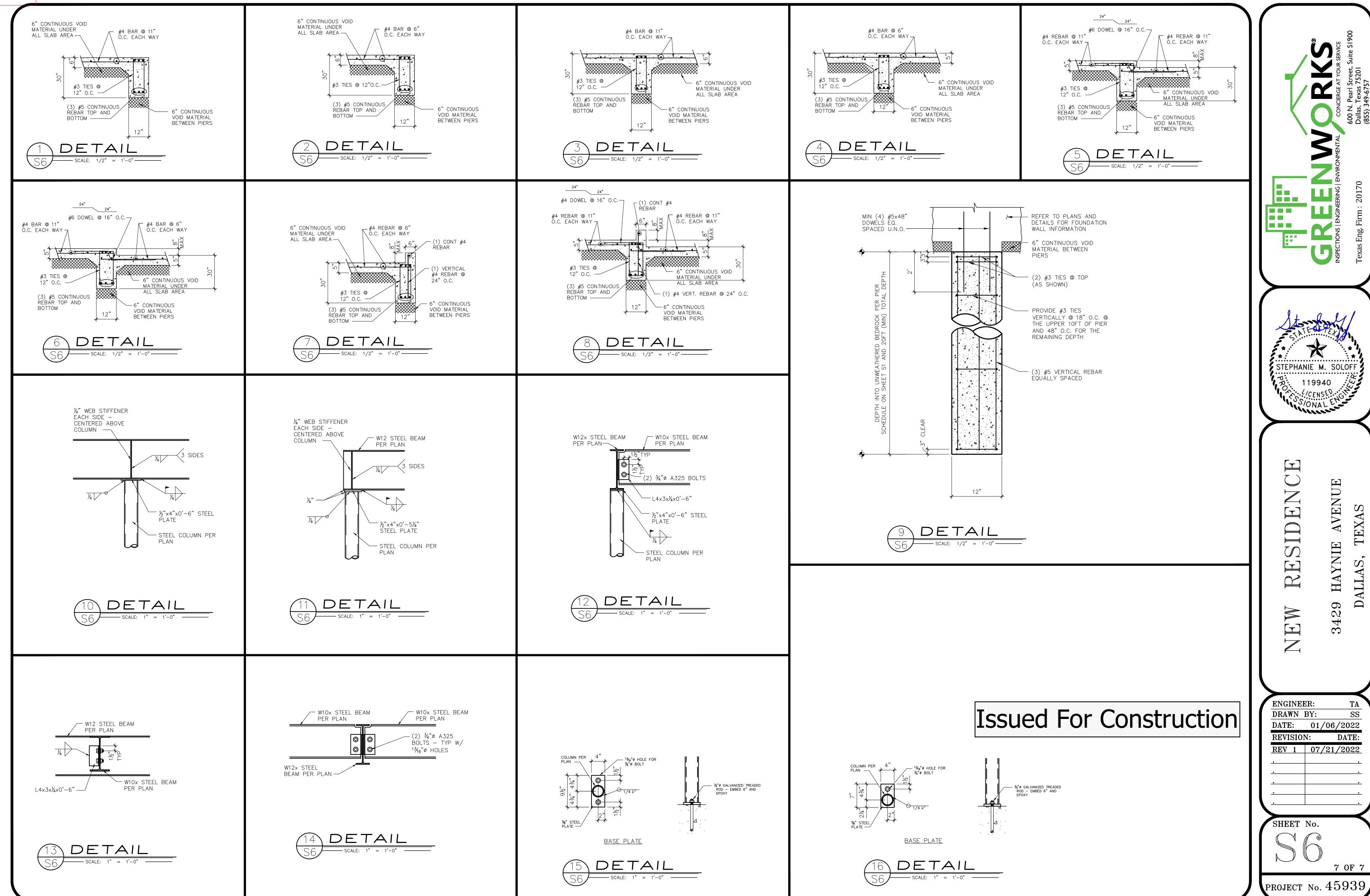
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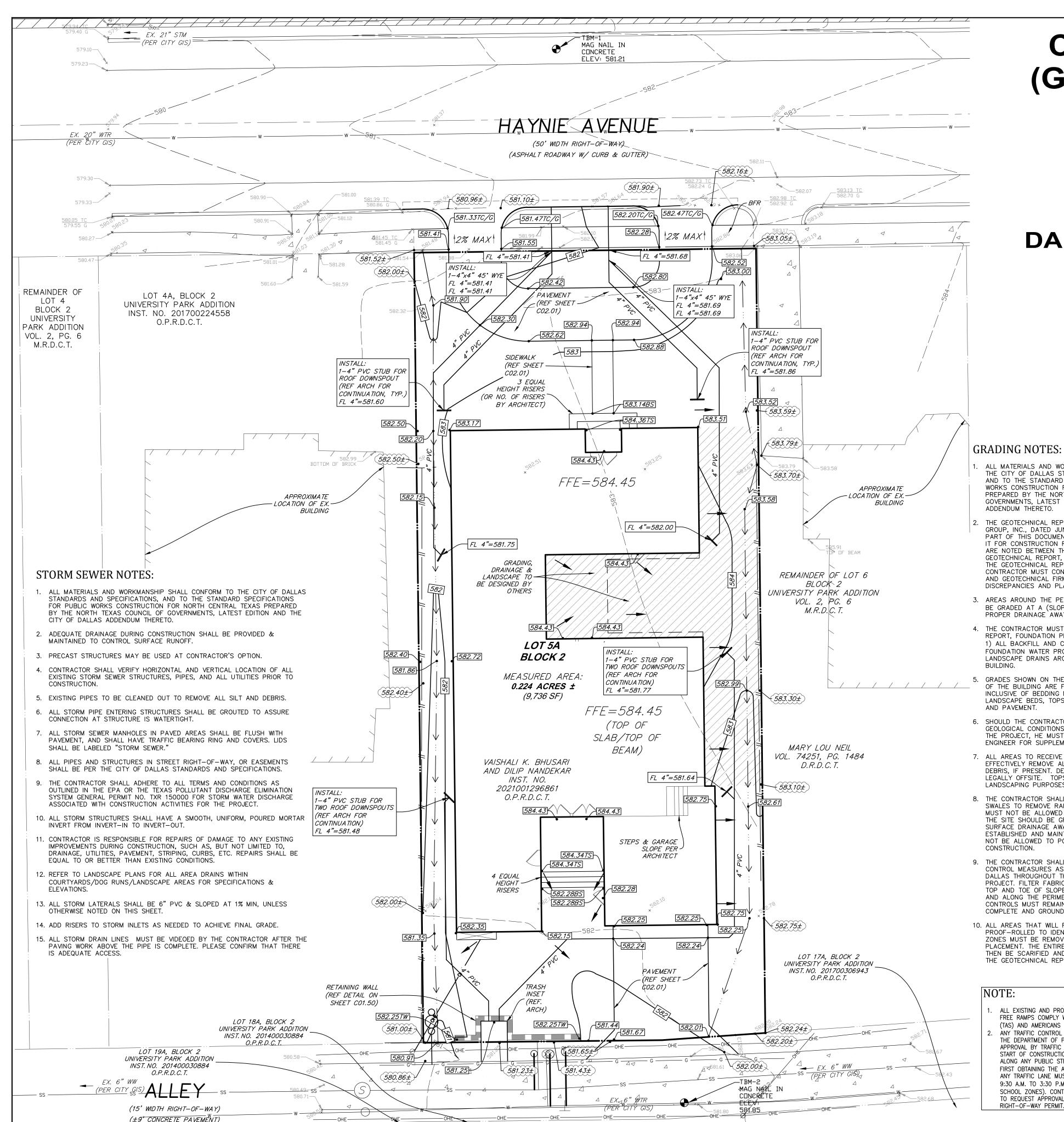


AVENUE

HAYNIE

3429

7 OF 7



# CIVIL CONSTRUCTION (GRADING, DRAINAGE & R.O.W. PLAN)

**HAYNIE RESIDENCE** 3429 HAYNIE AVE. 0.22 ± ACRE TRACT DALLAS, DALLAS COUNTY, TX

Sheet List Table

C01.01 GRADING & DRAINAGE PLAN C01.50 GRADING DETAILS C02.01 | R.O.W. PLAN



# GRADING NOTES:

- ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE CITY OF DALLAS STANDARDS AND SPECIFICATIONS. AND TO THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION FOR NORTH CENTRAL TEXAS PREPARED BY THE NORTH TEXAS COUNCIL OF GOVERNMENTS, LATEST EDITION AND THE CITY OF DALLAS
- THE GEOTECHNICAL REPORT NO. 21.272 BY HOOPER GROUP, INC., DATED JUNE 7, 2021, IS CONSIDERED A PART OF THIS DOCUMENT. THE CONTRACTOR MUST REVIEW IT FOR CONSTRUCTION REQUIREMENTS. IF DIFFERENCES ARE NOTED BETWEEN THESE PLANS AND THE GEOTECHNICAL REPORT, THE REQUIREMENTS OUTLINED IN THE GEOTECHNICAL REPORT WILL GOVERN. THE CONTRACTOR MUST CONTACT THE OWNER, CIVIL ENGINEER, AND GEOTECHNICAL FIRM AND INFORM THEM OF ALL DISCREPANCIES AND PLAN MODIFICATIONS.
- 3. AREAS AROUND THE PERIMETER OF THE BUILDING SHALL BE GRADED AT A (SLOPE) FOR (DISTANCE) TO ENSURE PROPER DRAINAGE AWAY FROM THE FOUNDATION.
- 4. THE CONTRACTOR MUST REFER TO THE GEOTECHNICAL REPORT, FOUNDATION PLANS, AND LANDSCAPE PLANS FOR 1) ALL BACKFILL AND COMPACTION REQUIREMENTS, 2) FOUNDATION WATER PROOFING AND 3) UNDERDRAINS AND LANDSCAPE DRAINS AROUND THE PERIMETER OF THE
- 5. GRADES SHOWN ON THE PLANS AROUND THE PERIMETER OF THE BUILDING ARE FINISHED GRADES AND ARE INCLUSIVE OF BEDDING MATERIAL FOR PROPOSED LANDSCAPE BEDS, TOPSOIL AND SOD FOR LAWN AREAS, AND PAVEMENT.
- 6. SHOULD THE CONTRACTOR ENCOUNTER ANY UNUSUAL GEOLOGICAL CONDITIONS DURING THE CONSTRUCTION OF THE PROJECT, HE MUST NOTIFY THE GEOTECHNICAL ENGINEER FOR SUPPLEMENTAL RECOMMENDATIONS.
- 7. ALL AREAS TO RECEIVE PAVING SHALL BE STRIPPED TO EFFECTIVELY REMOVE ALL VEGETATION, TOP SOIL, AND DEBRIS, IF PRESENT. DEBRIS SHALL BE DISPOSED OF LEGALLY OFFSITE. TOPSOIL SHALL BE STOCKPILED FOR LANDSCAPING PURPOSES.
- 8. THE CONTRACTOR SHALL ESTABLISH INTERIOR DRAINAGE SWALES TO REMOVE RAINFALL FROM THE SITE. WATER MUST NOT BE ALLOWED TO POND IN TREE GRUB HOLES. THE SITE SHOULD BE GRADED SUCH THAT POSITIVE SURFACE DRAINAGE AWAY FROM THE WORK AREAS IS ESTABLISHED AND MAINTAINED AT ALL TIMES WATER MUST NOT BE ALLOWED TO POND ON THE SURFACE DURING
- 9. THE CONTRACTOR SHALL PROVIDE SEDIMENT AND EROSION CONTROL MEASURES AS REQUIRED BY THE CITY OF DALLAS THROUGHOUT THE CONSTRUCTION OF THE PROJECT. FILTER FABRIC FENCES WILL BE PLACED AT THE TOP AND TOE OF SLOPES, IN THE FLOW LINE OF DITCHES AND ALONG THE PERIMETER OF THE PROJECT. EROSION CONTROLS MUST REMAIN UNTIL LANDSCAPING IS COMPLETE AND GROUND COVER IS ESTABLISHED.
- 10. ALL AREAS THAT WILL RECEIVE FILL SHALL BE PROOF-ROLLED TO IDENTIFY WEAK ZONES. ALL WEAK ZONES MUST BE REMOVED AND REPLACED PRIOR TO FILL PLACEMENT. THE ENTIRE AREA TO RECEIVE FILL SHALL THEN BE SCARIFIED AND RE-COMPACTED AS SPECIFIED IN THE GEOTECHNICAL REPORT.

ALL EXISTING AND PROPOSED SIDEWALKS AND BARRIER FREE RAMPS COMPLY WITH TEXAS ACCESSIBILITY STANDARDS (TAS) AND AMERICANS WITH DISABILITIES ACT (ADA). ANY TRAFFIC CONTROL PLAN (TCP) MUST BE SUBMITTED TO THE DEPARTMENT OF PUBLIC WORKS FOR REVIEW AND APPROVAL BY TRAFFIC SAFETY COORDINATORS PRIOR TO START OF CONSTRUCTION. NO TRAFFIC LANE OR SIDEWALK ALONG ANY PUBLIC STREET OR ALLEY IS CLOSED WITHOUT FIRST OBTAINING THE APPROPRIATE PERMIT(S). CLOSURE OF ANY TRAFFIC LANE MUST BE RESTRICTED TO THE HOURS OF 9:30 A.M. TO 3:30 P.M. WORKDAYS (HOURS MAY DIFFER IN SCHOOL ZONES). CONTRACTOR MUST CALL (214) 948-4290 TO REQUEST APPROVAL OF TCP AND TO OBTAIN A

- 11. LIMESTONE OR OTHER ROCK-LIKE MATERIALS USED AS FILL SHALL BE COMPACTED TO AT LEAST 95 PERCENT OF STANDARD PROCTOR MAXIMUM DRY DENSITY, NO INDIVIDUAL ROCK PIECES LARGER THAN 4 INCHES IN DIAMETER SHOULD BE USED AS FILL. ADDITIONALLY, NO ROCK FILL SHOULD BE USED WITHIN 1 FT BELOW THE BOTTOM OF FLOOR OR PAVEMENT SLABS.
- 12. FILL MATERIALS SHOULD BE PLACED IN LOOSE LIFTS, 8 INCHES THICK, AND EACH LIFT COMPACTED TO A MINIMUM OF 95 PERCENT OF THE MAXIMUM DRY DENSITY AS DEFINED IN ASTM D 698 AT 95 PERCENT OF OPTIMUM MOISTURE CONTENT.EACH LIFT SHOULD BE INSPECTED AND APPROVED BY A QUALIFIED ENGINEERING TECHNICIAN, SUPERVISED BY A GEOTECHNICAL ENGINEER BEFORE ANOTHER LIFT IS ADDED.
- 13. TESTING IS REQUIRED. AND SHALL BE PERFORMED BY A LABORATORY APPROVED BY THE ENGINEER/OWNER AND PAID FOR BY THE OWNER.
- 14. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE AND PROTECT ALL PUBLIC UTILITIES, IN THE CONSTRUCTION OF THIS PROJECT. ALL MANHOLES, CLEANOUTS, VALVE BOXES, FIRE HYDRANTS, ETC., MUST BE ADJUSTED TO PROPER LINE AND GRADE BY THE CONTRACTOR PRIOR TO AND AFTER THE PLACING OF PERMANENT PAVING.
- 15. THE CONTRACTOR MUST MEET THE REQUIREMENTS OF THE TEXAS POLLUTANT DISCHARGE FLIMINATION SYSTEM GENERAL PERMIT NO. TXR 150000, ISSUED ON FEBRUARY 15, 2008. IF THE PROJECT WILL DISTURB MORE THAN 1.0 ACRES OF LAND, THE CONTRACTOR MUST PREPARE OR HAVE PREPARED A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AND ADHERE TO THE REQUIREMENTS OF
- 16. ALL WALLS, INCLUDING FOOTINGS, SHOULD BE LOCATED ENTIRELY WITHIN PRIVATE PROPERTY.

# CITY OF DALLAS INFRASTRUCTURE PLAN NOTES

- 1. ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION FOR NORTH CENTRAL TEXAS, LATEST EDITION, AND THE CITY OF DALLAS DEPARTMENT OF PUBLIC WORKS AND TRANSPORTATION ADDENDUM.
- 2. DURING THE CONSTRUCTION OF THESE IMPROVEMENTS. ANY INTERPRETATION OF THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION FOR NORTH CENTRAL TEXAS, AND ANY MATTER WHICH REQUIRES THE APPROVAL OF THE OWNER, MUST BE APPROVED BY THE DIRECTOR OF PUBLIC WORKS AND TRANSPORTATION OR HIS DESIGNEE BEFORE ANY CONSTRUCTION INVOLVING THAT DECISION COMMENCES. ASSUMPTIONS ABOUT WHAT THESE DECISIONS MIGHT BE WHICH ARE MADE DURING THE BIDDING PHASE WILL HAVE NO BEARING ON THE DECISION.
- 3. FOR ADJUSTMENT OF DALLAS WATER UTILITIES APPURTENANCES OR TO VERIFY LOCATIONS OF EXISTING WATER AND WASTEWATER MAINS IN AREA, CALL (214) 670-1770 AT LEAST (3) THREE WORKING DAYS PRIOR TO CONSTRUCTION.
- 4. STREETS, ALLEYS, SIDEWALKS, DRIVEWAYS, AND STORM DRAINAGE FACILITIES IN THE PUBLIC RIGHT-OF-WAY SHALL BE CONSTRUCTED IN CONFORMANCE WITH THE CITY OF DALLAS, STANDARD CONSTRUCTION DETAILS, FILE 251D-1, LATEST EDITION.
- 5. ALL CONCRETE FOR PAVEMENT SHALL BE 4000 PSI FOR MACHINE FINISH AND 4500 PSI IF IT IS NECESSARY FOR HAND FINISH.

# **CONTRACTOR INFORMATION**

CONTRACTOR UNIFORM CONSTRUCTION INC. CONTRACTOR INFO. ANDY ONDER YALTIR (832-610-8428)

1-800-245-4545 txticket@1-call.com GRADING LEGEND MATCH EXISTING GRADE (525.18±) -525 ---- EX. CONTOUF

GRAPHIC SCALE

1 inch = 10 ft.

PROPOSED GRADE 525.68TC 525.18G TOP OF CURB GUTTER RETAINING WALL TOP OF WALL MANHOLE BOTTOM OF STAIRS GRADING, DRAINAGE AND LANDSCAPE IN HATCHED AREA TO BE DESIGNED TOP OF STAIRS PR. STORM (SMALLER THAN 12" Ø)

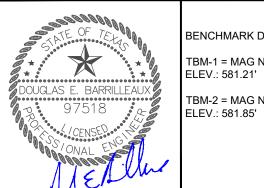
# ISSUED FOR CONSTRUCTION

ELEV .: 581.21'

BENCHMARK DATA:

TBM-1 = MAG NAIL IN CONCRETE

TBM-2 = MAG NAIL IN CONCRETE



www.urbanstrategy.us

**REVISIONS** REV NO. DATE DESCRIPTION BY

BLDG PERMIT NO. DEV ENGINEERING TRACKING NOS SYYY-XXX

TEL: 214.396.2339

Firm Registration #F-22252

**GRADING & DRAINAGE PLAN** 

**3429 HAYNIE AVENUE** 

LOT 5A, BLOCK 2

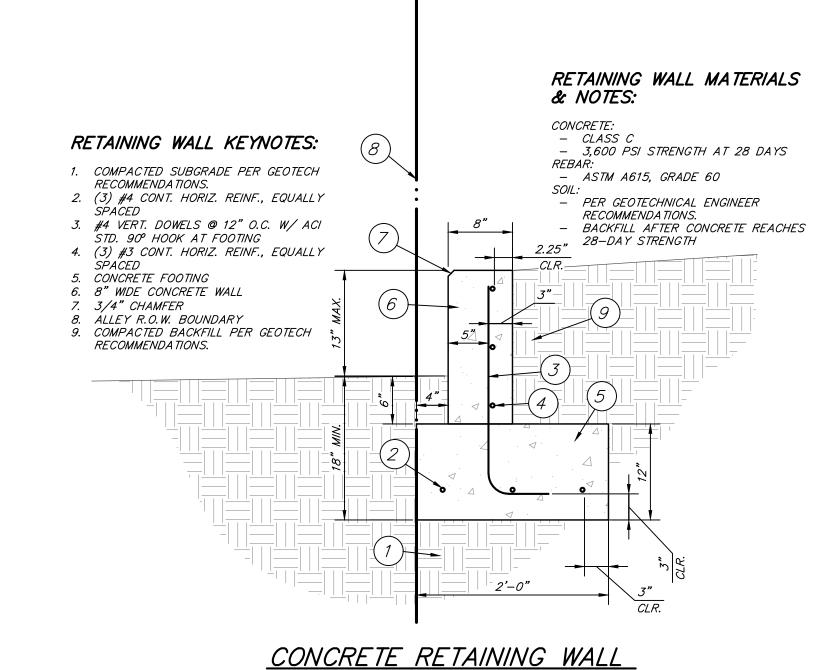
CITY OF UNVERSITY PARK

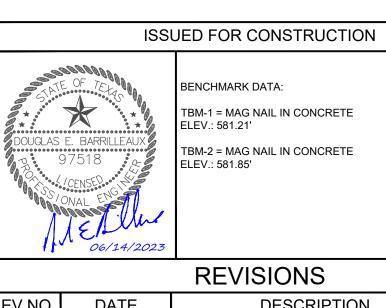
CITY OF DALLAS, DALLAS COUNTY, TEXAS

REVIEW DATE FILE NUMBER SHEET BY: Jun. 16, DEB









		REVISIONS	
REV NO.	DATE	DESCRIPTION	BY
www.urbanstrategy.us		TEL: 21/	.396.2339



Dallas, Texas 75226
Firm Registration #F-22252

PLAT NO.	BLDG PERMIT NO.	DEV ENGINEERING TRACKING NOS		
SYYY-XXX	TBD	N/A	N/A	

# GRADING DETAILS

3429 HAYNIE AVENUE

LOT 5A, BLOCK 2
CITY OF UNVERSITY PARK

CITY OF DALLAS DALLAS COUNTY TEXAS

CITY OF DALLAS, DALLAS COUNTY, TEXAS					
REVIEW BY:	DRAWN BY:	DATE	FILE	NUMBER	SHEET
DEB	BMB	Jun. 14, 2023			C01.50

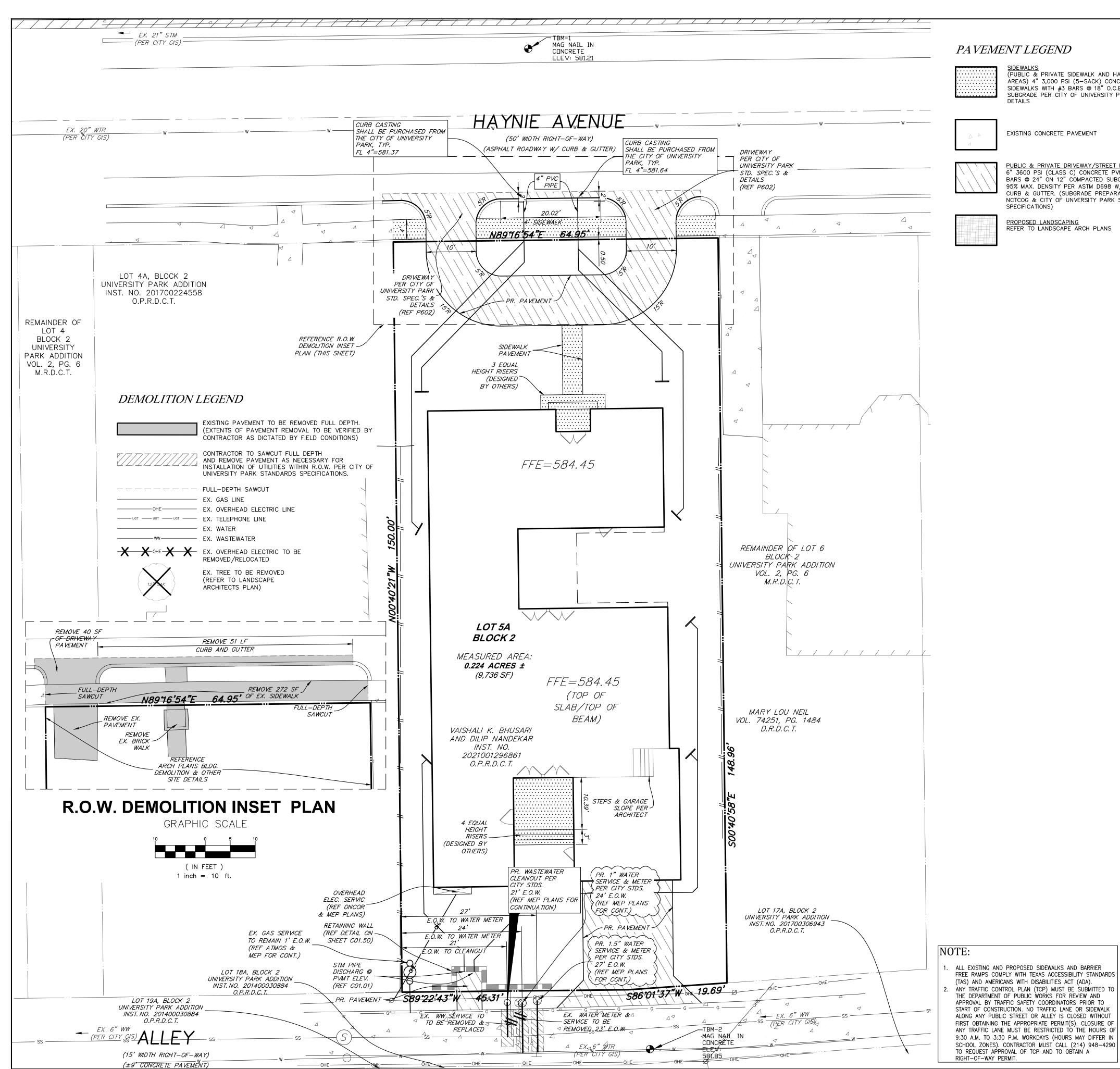
CONTR
CONTRACTOR UNIFOR
CONTRACTOR INFO. AN

CONTRACTOR INFORMATION

CONTRACTOR UNIFORM CONSTRUCTION INC.

CONTRACTOR INFO. ANDY ONDER YALTIR (832-610-8428)

FILE NAME: C-GRADING.DWG FILE LOCATION: S:\Projects (Team Folder)\Projects\2022\22675 3429 Haynie Ave Residence\ACAD\Working Files\C-G LAST MODIFIED BY: NKERAN



# PA VEMENT LEGEND



SIDEWALKS
(PUBLIC & PRIVATE SIDEWALK AND HARDSCAPE AREAS) 4" 3,000 PSI (5-SACK) CONCRETE PAVEMENT FOR SIDEWALKS WITH #3 BARS @ 18" O.C.E.W. ON 6" COMPACTED SUBGRADE PER CÏTY OF UNIVERSITY PARK STANDARDS AND



EXISTING CONCRETE PAVEMENT



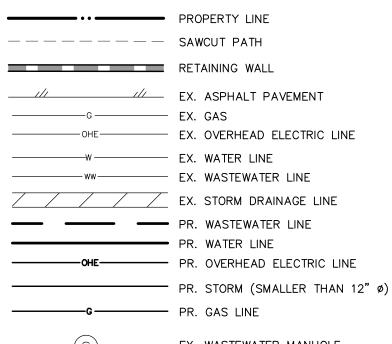
6" 3600 PSI (CLASS C) CONCRETE PVMT W/ #4 BARS @ 24" ON 12" COMPACTED SUBGRADE TO 95% MAX. DENSITY PER ASTM D698 W/ INTEGRAL CURB & GUTTER. (SUBGRADE PREPARATION PER NCTCOG & CITY OF UNVERSITY PARK STANDARD SPECIFICATIONS)

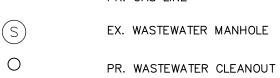
PUBLIC & PRIVATE DRIVEWAY/STREET PAVEMENT



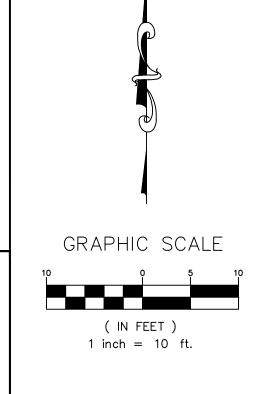
PROPOSED LANDSCAPING
REFER TO LANDSCAPE ARCH PLANS

# SITE PLAN/R.OW. LEGEND





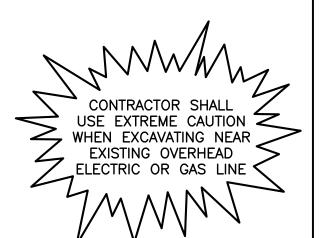
PR. WATER METER GAS METER  $\infty$ 







txticket@1-call.com





BENCHMARK DATA: TBM-1 = MAG NAIL IN CONCRETE ELEV.: 581.21' TBM-2 = MAG NAIL IN CONCRETE ELEV.: 581.85'

ISSUED FOR CONSTRUCTION

**REVISIONS** REV NO. DATE DESCRIPTION BY TEL: 214.396.2339

www.urbanstrategy.us

4222 Main Street Firm Registration #F-22252

PLAT NO. | BLDG PERMIT NO. | DEV ENGINEERING TRACKING NOs SYYY-XXX

# R.O.W. PLAN / PAVING PLAN

**3429 HAYNIE AVENUE** 

LOT 5A, BLOCK 2

CITY OF UNVERSITY PARK

CITY OF DALLAS, DALLAS COUNTY, TEXAS

REVIEW BY:	DRAWN BY:	DATE	FILE	NUMBER	SHEET
DEB	BMB	Jun. 16, 2023			C02.01

# CITY OF UNIVERSITY PARK INFRASTRUCTURE PLAN NOTES

PHASE WILL HAVE NO BEARING ON THE DECISION.

- 1. ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION FOR NORTH CENTRAL TEXAS, LATEST EDITION, AND THE CITY OF UNIVERSITY PARK ADDENDA, PART A GENERAL CONSTRUCTION STANDARDS AND PART B STANDARD DETAILS, LATEST EDITIONS.
- 2. DURING THE CONSTRUCTION OF THESE IMPROVEMENTS, ANY INTERPRETATION OF THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION FOR NORTH CENTRAL TEXAS, AND ANY MATTER WHICH REQUIRES THE APPROVAL OF THE OWNER, MUST BE APPROVED BY THE DIRECTOR OF PUBLIC WORKS AND TRANSPORTATION OR HIS DESIGNEE BEFORE ANY CONSTRUCTION INVOLVING THAT DECISION COMMENCES. ASSUMPTIONS ABOUT WHAT THESE DECISIONS MIGHT BE WHICH ARE MADE DURING THE BIDDING
- 3. FOR ADJUSTMENT OF CITY OF UNIVERSITY PARK WATER UTILITIES APPURTENANCES OR TO VERIFY LOCATIONS OF EXISTING WATER AND WASTEWATER MAINS IN AREA, CALL (214) 987-5400 AT LEAST (3) THREE WORKING DAYS PRIOR TO CONSTRUCTION.
- 4. STREETS, ALLEYS, SIDEWALKS, DRIVEWAYS, AND STORM DRAINAGE FACILITIES IN THE PUBLIC RIGHT-OF-WAY SHALL BE CONSTRUCTED IN CONFORMANCE WITH STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION FOR NORTH CENTRAL TEXAS, LATEST EDITION, AND THE CITY OF UNIVERSITY PARK ADDENDA, PART A GENERAL CONSTRUCTION STANDARDS AND PART B STANDARD DETAILS, LATEST EDITIONS.

# **CONTRACTOR INFORMATION**

CONTRACTOR \_UNIFORM CONSTRUCTION INC.

CONTRACTOR INFO. \_ANDY ONDER YALTIR (832-610-8428)



# City of University Park Residential Energy Compliance Path Energy Code Requirements of the 2015 IRC (IECC) Submit with application for a building permit

Project Address: 3429 Haynie Avenue
Energy Contractor Energy IQ
N1101.13 (R401.2) - Projects shall comply with one of the following:
Option #1a – Prescriptive: Sections N1101.14 (R401) through N1104 (R404):
N1102 (R402) Building Thermal Envelope. {Using table N1102.1.2 (R402.1.2) INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT} N1103 (R403) Systems. N1104 (R404) Electrical Power and Lighting Systems (Mandatory).
Plus all mandatory provisions  ☐ Option #1b - Prescriptive-Using REScheck™ UA approach Only: Sections N1101.14 (R401) through N1104 (R404):
N1102 (R402) Building Thermal Envelope. N1103 (R403) Systems. N1104 (R404) Electrical Power and Lighting Systems (Mandatory). Plus all mandatory provisions
Option #2 – Section N1105 (R405) Performance Approach
Plus all mandatory provisions
Option #3 – ENERGY STAR Certified Homes®
Option #4 – Section N1106 (R406) Energy Rating Index Compliance Alternative
Minimum envelope requirements $\geq$ Table 402.1.2 or 402.1.4 $-$ 2009 IECC Plus all mandatory provisions
Option #5 – ESL 4ACH <sup>50</sup> Tradeoff Code Equivalency Compliance <sup>a</sup>

Envelope Component	Option #1	Option #2
R402.4 Air Leakage	≤ 4ACH <sup>50</sup>	< 4ACH <sup>50</sup>
Wall Insulation Value	R13 + R3 <sup>6</sup>	R13 + R3 <sup>b</sup>
Fenestration U-factor/SHGC	≤ 0.32/0.25	≤ 0.32/0.25
Ceiling R-value	≥ R49	≥ R49
Duct Insulation	R8	R6
Radiant Barrier Required	No	Yes

<sup>&</sup>lt;sup>a</sup> Except for the values listed in the table, all other mandatory code provisions are applicable.

# NOTE: Attach appropriate compliance option "compliance report"

I certify that I have reviewed the construction documents including, but not necessarily limited to, insulation materials and R-values; fenestration U-factors and SHGC values; area-weighted average U-factor and SHGC calculations; mechanical system design criteria; mechanical and service water heating system and equipment types, sizes and efficiencies; equipment and system controls; duct sealing, duct and piping insulation and location; and air sealing details; and that the project as designed satisfies the minimum requirements for the compliance approach selected above.

Print Name: Craig Senglin Sign Name: Date: 04/27/2023

<sup>&</sup>lt;sup>b</sup> First value is cavity insulation, second is continuous insulation or insulated siding.



# Single Family House Energy Report

## **Project Details Project Name:** 3429 Haynie Ave **Builder Name:** Ebenezer Builders LLC **Builder Phone:** (267) 912-4400 **Builder Email:** stanly@ebenezerusa.com Address: 3429 Haynie Ave City: **UNIVERSITY PARK** County: DALLAS Zip: 75205 Certificate #: 1281851 Date Issued: 1/30/2023 Notes: **Emissions Reduction** NOx: lbs. 15 SOx:



This single family residential project was found to be in compliance with the performance measures described in the 2015 IECC as calculated by the Energy Systems Laboratory, a division of the Texas A&M Engineering Experiment Station using IC3 version 4.5.10



## **ENERGY SYSTEMS LABORATORY**

TEXAS A&M ENGINEERING EXPERIMENT STATION

The values produced are generated by the DOE-2 building energy analysis program. These values do not constitute a guarantee of actual energy usage by ESL or TEES.

IC3	International CODE COMPLIANC
	■■■ CALCULATO

CO2:

lbs.

lbs.

39

26,893



# **Project Information**

Ashly-Wardler Mouter 04/28/2023

Number of Bedrooms: 5

Wall Cavity Insulation: R- 19

Wall Continuous Insulation: R- 0

Orientation: North

Windows

SHGC: 0.23

U-Factor: 0.29

Roof

Cladding Type: Composite Shingle

Radiant Barrier: Yes

Sealed Attic: No

Roof Insulation: R - 30

Attic Area: 3200 sq. ft.

Cathedral Ceiling Area: 0 sq. ft.

Flat Roof Area: 0 sq. ft.

Wall Area Next to Attic: 0 sq. ft.

Foundation

Foundation Type: Slab on Grade

Foundation Insulation: R- 0

A/C

SEER: 17

Tonnage: 6

Structural

Exterior Finish: Stucco

Stud Type: 2 x 6

Stud Spacing: 16 in.

Mechanical

Blower Door Test: 3 @ACH50

Ventilation Type: Supply Only

Ventilation Rate: 200 CFM

Ventilation Operation: 12 hrs.

Fan Power: 0 Watts

Fraction Outside: 0.5

Duct Tightness Test: 200 @CFM25

Supply Duct Insulation: R-6

Return Duct Insulation: R-6

Heating

Heating Type: Natural Gas

Heating Efficiency: 0.91 AFUE

Water Heater

Water Heater Type: Natural Gas

Energy Factor: 0.91

Size: N/A

Burner Capacity: N/A

Floor 1

Floor Area: 3200 sq. ft.

Floor Wall Height: 12 ft.

Front Side Length: 50 ft

Front Side Window Area: 216 sq. ft.

Front Side Shading: 0 in

Back Side Length: 50 ft

Back Side Window Area: 103 sq. ft.

Back Side Shading: 0 in

Floor 2

Floor Area: 2120 sq. ft.

Floor Wall Height: 11 ft.

Front Side Length: 48 ft

Front Side Window Area: 272 sq. ft.

Front Side Shading: 18 in

Back Side Length: 48 ft

Back Side Window Area: 104 sq. ft.

Back Side Shading: 18 in

Right Side Length: 95 ft

Right Side Window Area: 148 sq. ft.

Right Side Shading: 0 in

Left Side Length: 95 ft

Left Side Window Area: 214 sq. ft.

Left Side Shading: 0 in

Area over Unconditioned: 0 sq. ft.

Right Side Length: 63 ft

Right Side Window Area: 64 sq. ft.

Right Side Shading: 18 in

Left Side Length: 63 ft

Left Side Window Area: 119 sq. ft.

Left Side Shading: 18 in



Achty-Windler Mouler 204, High 2 Efficiency: 90 %

Lighting: % outdoor High-Efficiency: 90 %

Dishwasher Capacity: 12 settings

Dishwasher Energy Factor: 0.46

Range Fuel Type: Gas

Induction Range: N/A

Convection Oven: No

Clothes Dryer Fuel Type: Electric

Clothes Dryer Type: Timer

Clothes Dryer Energy Efficiency: 3.01

Refrigerator: Annual Energy Use: 691 kWh/yr

Clothes Washer Energy Rating:704 kWh/yr

Clothes Washer Electric Rate: 0.08 \$/kWh

Clothes Washer Annual Gas Cost: 23 \$/yr

Clothes Washer Natural Gas Rate: 0.58 \$/therm

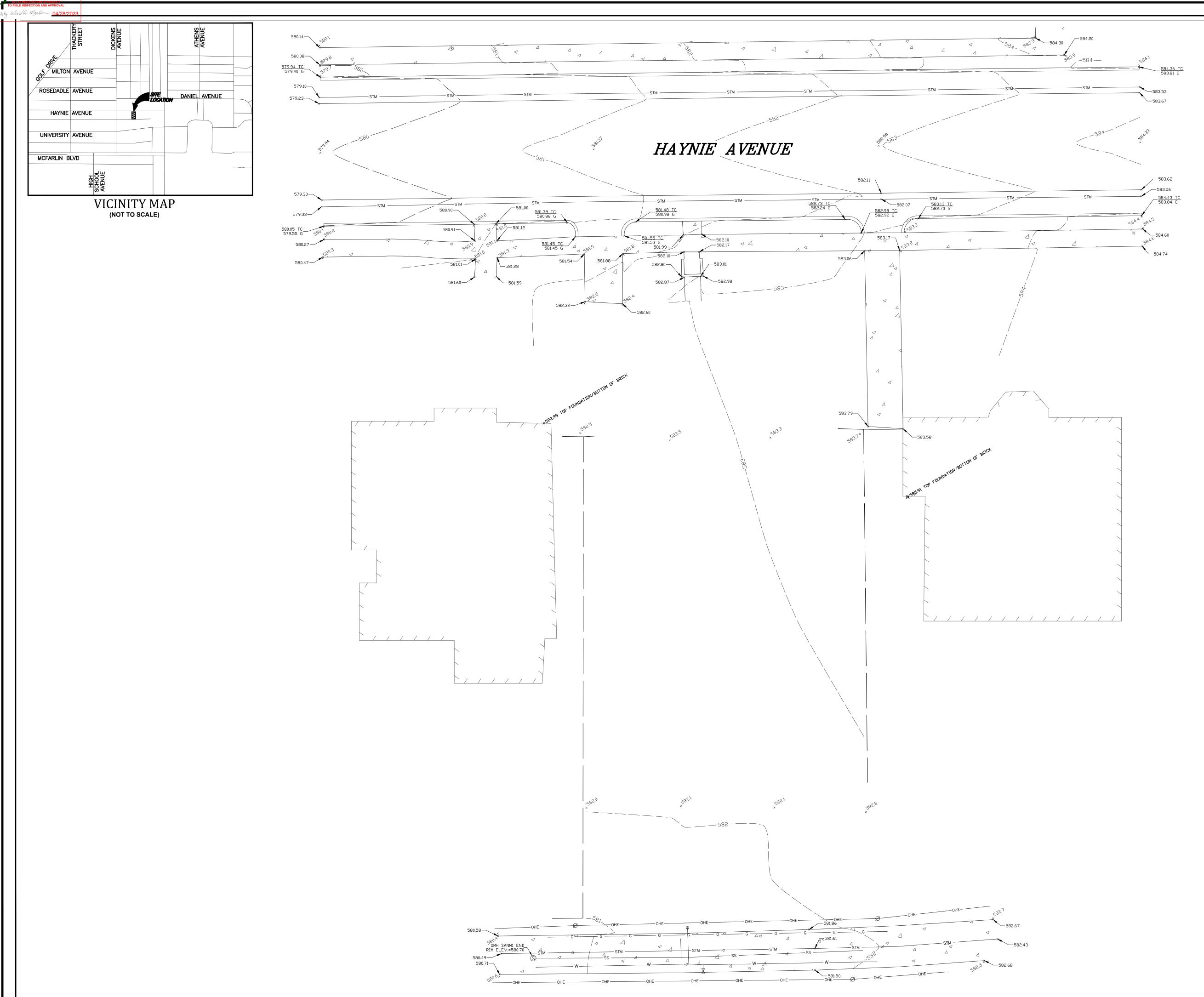
Clothes Washer Capacity: 2.874 ft^3

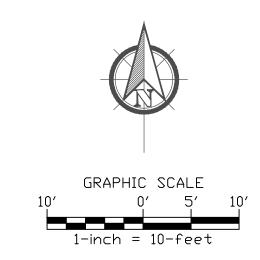
Clothes Washer MEF: 0.817

Programmable Thermostat: Yes









# GENERAL NOTES

- L. All bearings, distances, and coordinate values shown hereon are grid based coordinates based on the Texas Coordinate System of 1983, North Central Zone (4202), U.S. survey feet, North American Datum of 1983, as derived by GNSS from the Trimble RTK Network.
- 2. Not all lot lines outside of the boundary of the subject property show hereon have been surveyed and are shown as graphical depiction based on recorded information and tax maps.
- 3. Vertical datum is NAVD88 Geoid12b, as derived by GNSS from Alterra Trimble RTKNet Network.
- 4. The survey was performed without the benefit of a title commitment, abstract of title, or title report. The property could be subject to easements not shown hereon.

# LEGEND OF SYMBOLS & ABBREVIATIONS

XXX.X SPOT ELEVATION NG NATURAL GROUND TCTOP CURB G GUTTER FL FLOW LINE Ø POWER POLE S SANITARY SEWER MANH□LE ⊗ WATER METER X WATER VALVE TREE ----- STREET CENTERLINE -- OVERHEAD ELECTRIC LINE -----ss ----- SANITARY SEWER LINE ------STM-DRAIN LINE -----GAS LINE ---- WOOD FENCE



# TOPOGRAPHIC SURVEY

3429 HAYNIE AVENUE, DALLAS, TX 75205 LOTS 5, BLOCK 2 CITY OF UNIVERSITY PARK, DALLAS COUNTY, TEXAS



CIVIL • SURVEY