

CONSTRUCTION PLANS FOR: Private Residence (Lot 5, Block 2) 3429 Haynie Avenue

GENERAL NOTES:

- THE CONTRACTOR SHALL EXAMINE AND BECOME FAMILIAR WITH ALL CONTRACT DOCUMENTS IN THEIR ENTIRETY, SURVEY THE PROJECT AND BECOME FAMILIAR WITH THE EXISTING CONDITIONS AND SCOPE OF WORK. ALL COSTS SUBMITTED SHALL BE BASED ON THOROUGH KNOWLEDGE OF ALL WORK AND MATERIALS REQUIRED. ANY DISCREPANCY AND/OR UNCERTAINTY AS TO WHAT MATERIAL OR PRODUCT IS TO BE USED SHOULD BE VERIFIED WITH THE OWNER OR DESIGNER.
- ALL CONSTRUCTION SHALL COMPLY WITH THE 2015 IBC AND ALL APPLICABLE STATE, FEDERAL, & LOCAL CODES & AMENDMENTS.
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES REQUIRED FOR SAFE EXECUTION AND COMPLETION OF WORK, AND FOR INITIATING, MAINTAINING, AND SUPERVISING ALL SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK.
- ANY ERRORS, OMISSIONS, OR INCONSISTENCIES ON THESE DRAWINGS OR ANY VARIATIONS OR AMBIGUITIES BETWEEN THESE DRAWINGS AND ACTUAL SITE AND CONSTRUCTION CONDITIONS AND/OR REQUIREMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER.
- IN THE EVENT A DISCREPANCY IS FOUND IN THE CONTRACT DOCUMENTS, THE OWNER & DESIGNER SHALL BE NOTIFIED IMMEDIATELY.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD AND NOTIFY THE DESIGNER OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL VERIFY ALL MEASUREMENTS AT THE SITE AND BE RESPONSIBLE FOR ACCURACY AND CORRECTNESS OF SAME.
- CONTRACTOR SHALL COORDINATE HIS WORK WITH ALL OTHER TRADES. NOTIFY OWNER & DESIGNER OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
- STORE MATERIALS IN SPACES DESIGNATED BY OWNER.
- REMOVE RUBBISH FROM PREMISES AS OFTEN AS NECESSARY OR AS DIRECTED.
- ALL WORK AND EQUIPMENT SHALL BE CLEANED TO THE SATISFACTION OF THE OWNER BEFORE TURNING SAME OVER TO THE OWNER.
- SHOP DRAWINGS SHALL BE SUBMITTED TO THE OWNER FOR APPROVAL PRIOR TO ORDERING AND INSTALLATION OF ANY EQUIPMENT.
- THE CONTRACTOR SHALL PAY ALL FEES, GIVE ALL NOTICES, FILE ALL NECESSARY DRAWINGS AND OBTAIN ALL PERMITS AND CERTIFICATES OR APPROVAL REQUIRED IN CONNECTION WITH ALL WORK UNDER THESE CONTRACT DOCUMENTS. HE OR SHE SHALL COMPLY WITH ALL LAWS, ORDINANCES, RULES, AND REGULATIONS OF ALL AUTHORITIES HAVING JURISDICTION.
- THERE SHALL BE NO DEVIATION FROM SPECIFICATIONS WITHOUT THE WRITTEN APPROVAL OF THE OWNER, DESIGNER, AND/OR ENGINEER.
- DRYWALL INSTALLATION SHALL BE IN CONFORMANCE WITH THE GYPSUM ASSOCIATIONS RECOMMENDED PRACTICES FOR THICKNESS, NAILING, TAPING, AND CORRECT STUD SPACING.
- MECHANICAL CONTRACTOR TO VERIFY WITH DESIGNER ANY CHASE AREA NOT SHOWN ON DRAWINGS. ALL SHOP DRAWINGS TO BE SUBMITTED FOR APPROVAL PRIOR TO ORDERING ANY EQUIPMENT.
- DO NOT SCALE DRAWINGS; DIMENSIONS GOVERN. IF THERE IS A DISCREPANCY BETWEEN LARGE SCALE AND SMALL SCALE DRAWINGS, CONTACT THE DESIGNER FOR CLARIFICATION.
- CONTRACT DRAWINGS AND SPECIFICATIONS REPRESENT FINISHED STRUCTURE. THEY DO NOT INDICATE METHOD OF CONSTRUCTION. CONTRACTOR SHALL PROVIDE ALL MEASURES NECESSARY TO PROTECT STRUCTURE AND PERSONNEL DURING CONSTRUCTION. SUCH MEASURES SHALL INCLUDE, BUT NOT BE LIMITED TO, BRACING, SHORING OF LOADS DUE TO CONSTRUCTION EQUIPMENT, EXCAVATION PROTECTION, SCAFFOLDING, JOB SITE SAFETY, ETC. OBSERVATION VISITS TO THE SITE BY THE DESIGNER, OWNER, OR ENGINEER SHALL NOT INCLUDE INSPECTION OF ABOVE ITEMS.
- THE CONTRACTOR SHALL NOT STORE BUILDING MATERIALS, STAGE CONSTRUCTION OPERATIONS FROM, NOR GAIN ACCESS TO THE CONSTRUCTION SITE OVER ADJACENT PROPERTIES.

CODE DATA:

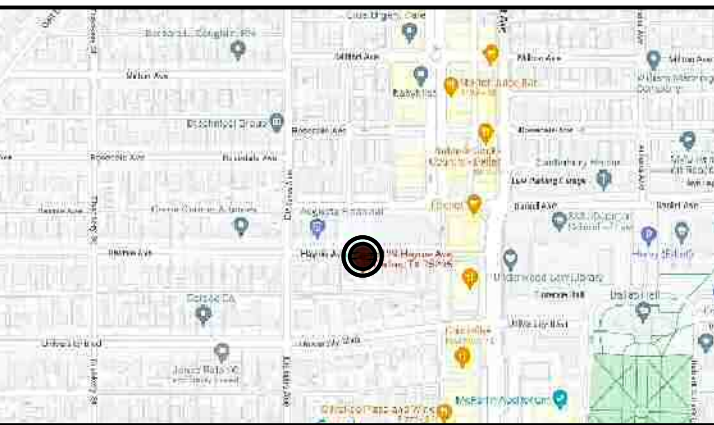
APPLICABLE CODES w/ City of University Park
Amendments:
I.B.C.: 2015
I.F.C.: 2015
I.M.C.: 2015
N.E.C.: 2014
I.P.C.: 2015
I.E.C.C.: 2015

BUILDING HEIGHT: 33'-0" (T.O.R.)
No. OF STORIES: 2
OCCUPANCY: R (Residential)
CONSTRUCTION: TYPE V-B

PROJECT DATA:

LOT AREA: 9,736 SQFT. (0.22A)
ZONING: SF-3(Single Family)
BUILDING DATA:
Total Building Area: 5,908 sq. ft.
Total A/C: 5,420 sq. ft.
1st Floor A/C: 3,200 sq. ft.
2nd Floor A/C: 2,120 sq. ft.
Garage: 488 sq. ft.
Front Porch: 45 sq. ft.
Back Porch: 68 sq. ft.
Outdoor Room: 240 sq. ft.
Open Patio (2nd): 108 sq. ft.
Roof Garden: 383 sq. ft.

VICINITY MAP



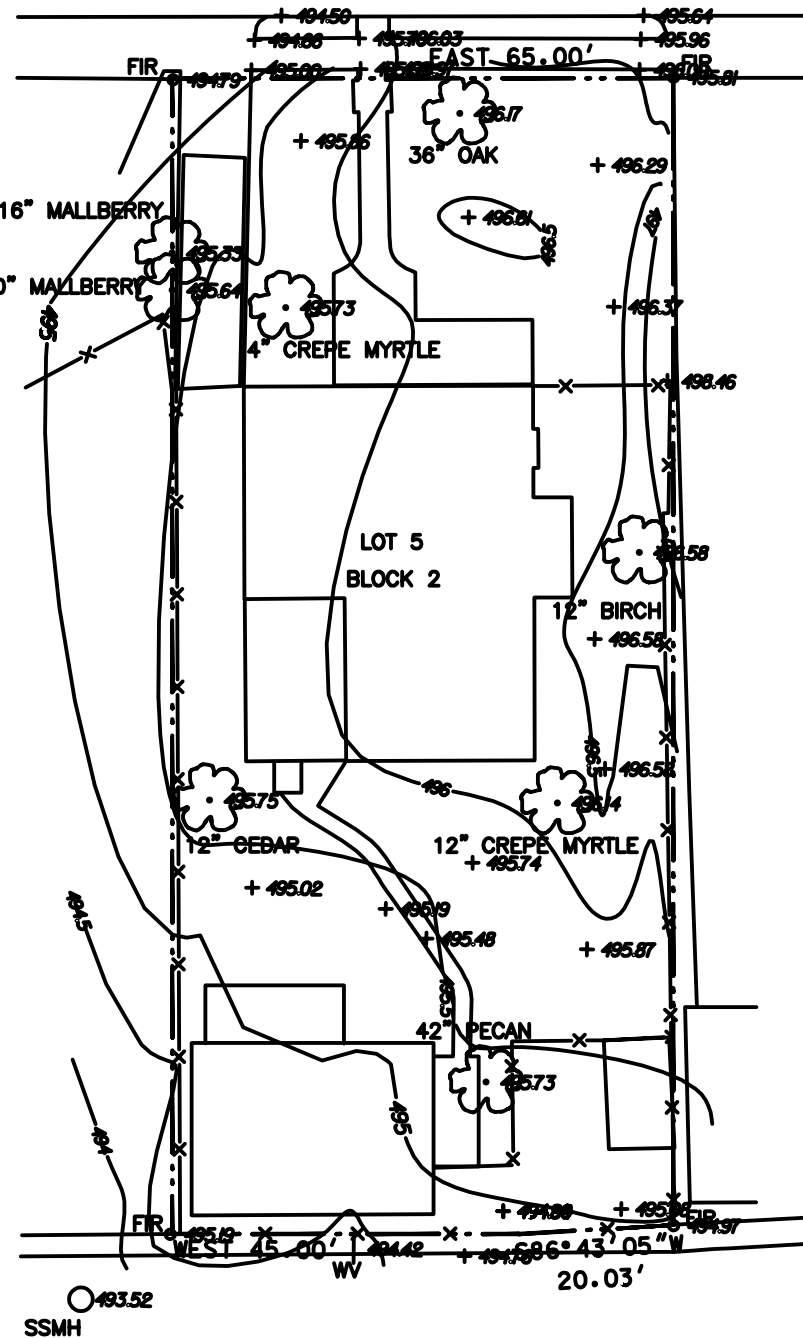
SCOPE:

Construction of a two story, Single Family Residence with attached garage.

ENERGY:

Exterior Walls: R-23 Batts + R-5 Continuous = R-28
Roof: R-23 Batts = R-23
Glazing: SHGC = 0.23, U-Value = 0.34
Exit Door: Solid Insulated Hollow Metal Doors

SURVEY

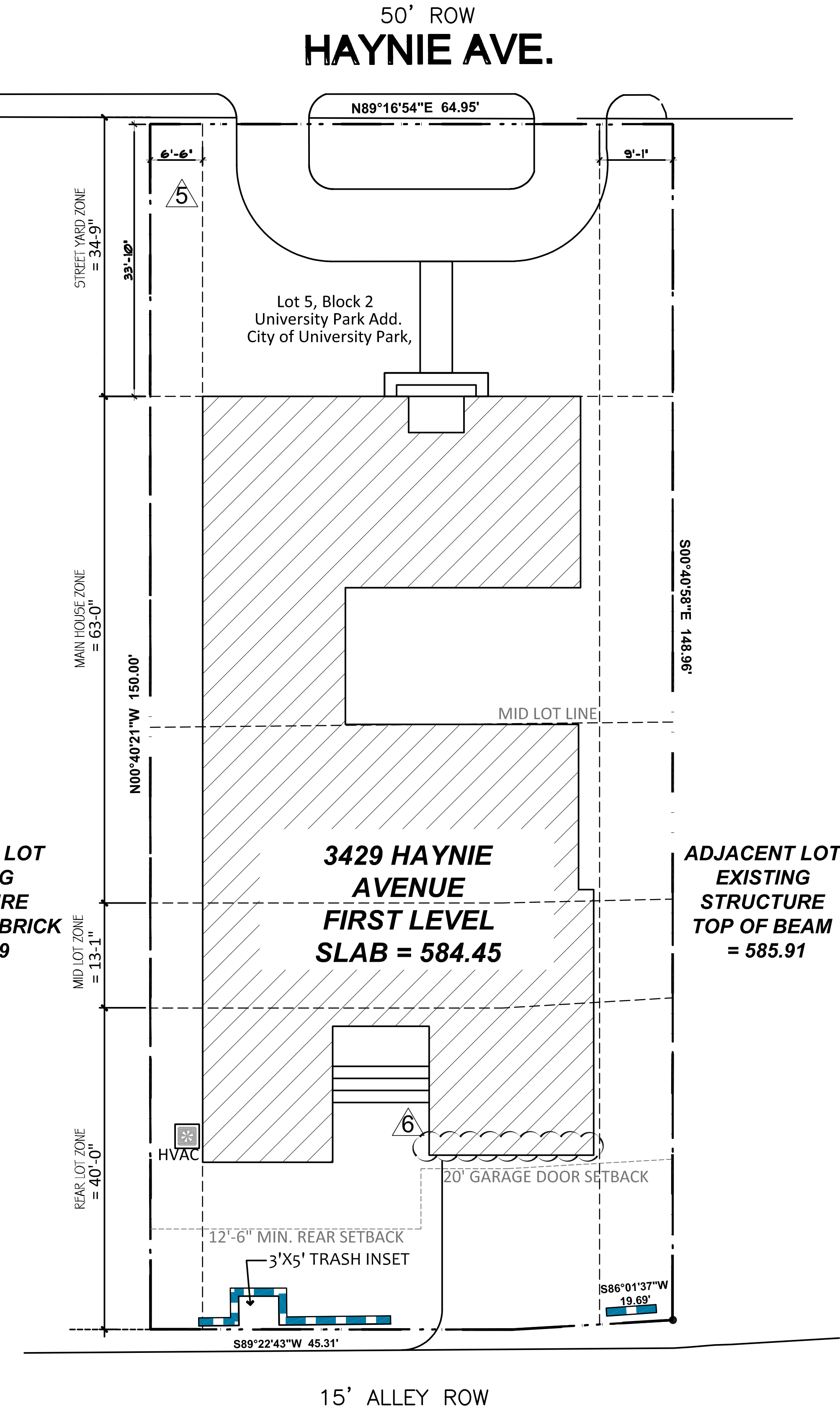


INDEX OF SHEETS:

SHT.	SHEET NAME	SHT.	SHEET NAME
A001	Cover, Index & Site Layout	S0	Structural Notes and Legend
A002	Schedules	S1	Pier Plan
A003	General Notes	S2	Foundation Plan
A101	Development Site Plan	S3	Floor and Lower Ceiling Plan
A201	First Floor Plan	S4	Upper Ceiling Framing Plan
A202	Second Floor Plan	S5	Roof Framing Plan
A301	Roof Plan	S6	Structural Details
A401	Exterior Elevations		
A402	Exterior Elevations	C01.01	Grading Plan
A501	Wall Sections	C01.50	Grading Detail
		C02.01	Right Of Way Plan
E1	Electrical Plan - First Floor		
E2	Electrical Plan - Second Floor		

ADJACENT LOT
EXISTING
STRUCTURE
BOTTOM OF BRICK
= 582.99

ADJACENT LOT
EXISTING
STRUCTURE
TOP OF BEAM
= 585.91



NOTE: See A101 For Fully Dimensioned Site Plan

① SITE PLAN: Proposed Footprint



ISSUED FOR
CONSTRUCTION
APRIL 25TH, 2023

NEW RESIDENCE
FOR DILIP NANDEKAR
3429 HAYNIE AVE
DALLAS, TEXAS 75205

REVISION

- ② CITY COMMENTS 04-19-23
- ③ CITY COMMENTS 04-07-23
- ④ CITY COMMENTS 03-22-23
- ⑤ CITY COMMENTS 02-20-23
- ⑥ CITY COMMENTS 12-10-22
- ⑦ CITY COMMENTS 09-30-22
- ⑧ CITY COMMENTS 08-09-22
- ⑨ CITY COMMENTS 07-26-22

ISSUE DATE
07-26-2022

PROJECT NUMBER
2022.0726.006

SHEET TITLE

COVER
SHEET

SHEET OF X

A001

A003

GENERAL NOTES:

- The General Contractor is solely responsible for all permitting and must submit plans for permits to the City of University Park prior to commencement with any construction. The Contractor shall assume full responsibility for paying any fines or penalties for failure to receive proper permitting.
- Prior to the commencement of any hardscape construction, all piers, footings, slabs, trails, walks, and walls, are to be surveyed, laid out, staked, and have steel reinforcing in place for approval by the Designer, Owner, or Engineer. (The Contractor shall assume full responsibility for any demolition, adjustments, or reconstruction, resulting from unauthorized construction activities.)
- Contractor shall verify all underground utilities, pipes, and structures before proceeding with construction. Contractor shall take full responsibility of any cost incurred due to damaging the said items. Contractor to be responsible for replacing these items.
- Contractor shall not willfully proceed with construction as designed when it is obvious that unknown obstructions, inconsistencies, area discrepancies, and or grade differences exist that may not have been known during the design process. Such conditions must immediately be brought to the attention of the Architect. If they are not the Contractor shall assume full responsibility for all necessary revisions due to failure to give such notifications.
- Contractor is responsible for any coordination with subcontractors as required to accomplish all areas of construction operations.
- S.W.P.P. (Storm Water Pollution and Prevention Plan) - The General Contractor shall be responsible for creation, maintenance, and completion of the plan as per these plans and the specification manual.
- Contractor shall limit construction traffic on any other property and is responsible for repairing or replacement of any existing fixtures damaged during construction operations. Repairs to all disturbed areas shall be of equal or better conditions.
- Contractor must remove all rock, concrete chunks, slag, rebar, and poor quality soil, upon completion of the project. Contractor shall dispose of all refuse at any Texas Department of Health licensed landfill or the City of University Park landfill, whichever the city requires.
- Any grading, landforms, and swales shall have a finished grade that is fine and smooth for positive drainage.
- Compact all native soil non-sub-grade fill materials to 90% standard proctor density.
- Compact all sub-base and sub-grade areas to 98% standard proctor density, at optimum soil moisture content.
- Where notes, construction details, or material specifications, are omitted for any part of the work, the construction methods and materials shall be the same as other similar work shown or noted on the plans, as existing in other areas of the project, per the manufacturer's specifications, or per the City of University Park's Standards and Ordinances.
- Work required by the Contract Documents for which no separate bid item has been provided in the Bid Proposal, shall be provided for as required by the Contractor. Cost for such work shall be considered subsidiary to the total amount bid. No separate payment will be made for subsidiary work. Similarly, work provided by the contractor to facilitate the successful completion of the project for which no bid item has been provided, should also be considered as subsidiary to the total amount bid or the item it pertains to.

LAYOUT NOTES:

Control, Grades, and Elevation

- All finished concrete surfaces shall be a minimum of 1 inch above the finished grade.
- All accessible routes must meet current T.A.S. (Texas Accessibility Standards). Contractor must be familiar and comply with all of the T.A.S. standards as they pertain to this project.

Tree Removal and Protection

- Some trees adjacent to construction activities may require protection as directed by the Architect. This will be accomplished with orange snow fence and steel t-posts completely encircling the affected tree / trees at the drip line. Protection shall remain in place until conclusion of the project.
- Do Not Use Trees For Parking. Do not park or store equipment or materials beneath the canopy of any trees at any time within this city's limits.

Land Clearing and Grubbing

- Clear and grub all trees, undergrowth, and brush where noted on the plan. Save any specimen trees inside the work zone as directed by the Architect.
- Saw-cut and remove the existing concrete side walks and drives where noted.
- Concrete Flatwork, Walks, and Trails
- Expansion Joints - locate where shown in the details or plan denoted by a bold line.
- Control Joints - locate as shown on the plan.
- Compact all sub-grades to 98% S.P.D. at optimum moisture content.
- Cushion sand layer beneath concrete flatwork and walks to be 4 inches in depth.
- Surface of concrete flatwork, walks, and trails to have a light broom non-slip finish.

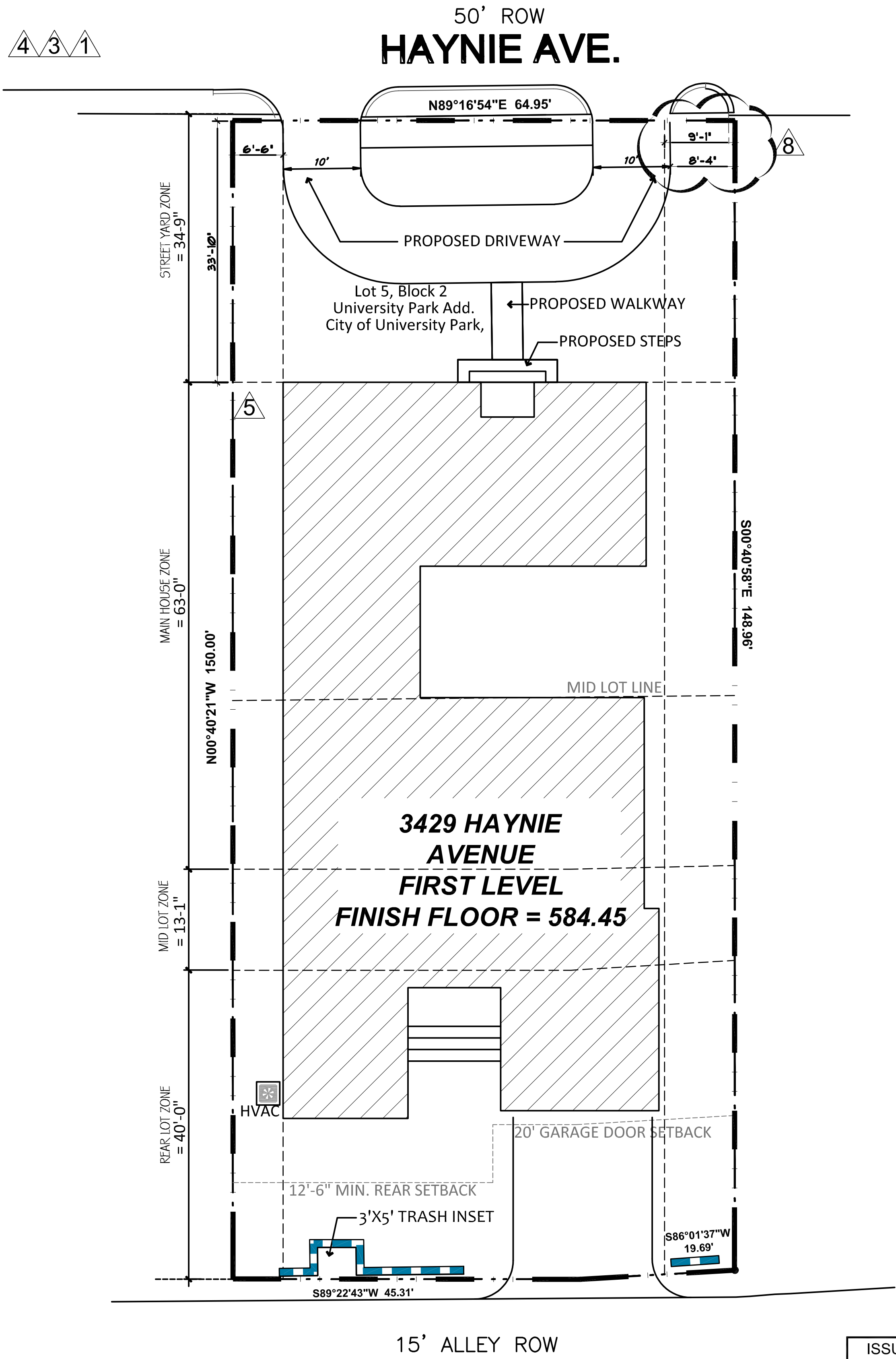
4 2

IMPERVIOUS AREA		
Total Lot Area = 9,736 sqft		
Main House		3,793 sqft
Front Walkway		40 sqft
Front Steps		38 sqft
Back Porch		154 sqft
Rear Driveway		446 sqft
A/C Pad		9 sqft
Trash Enclosure		15 sqft
Retaining Wall		28 sqft
Total Impervious	Maximum Allowed 5063 Sqft (52%)	Provided 4,523 sqft (46%)

IMPERVIOUS AREA	
Total Lot Area = 9,736 sqft	
Street Yard Zone	2,203 sqft
Front Driveway	644 sqft
Front Walkway	40 sqft
Front Steps	38 sqft
Street Yard Area Maximum Allowed (50%)	1,101 sqft
Street Yard Area provided (32%)	714 sqft

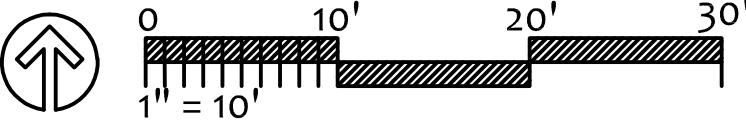
Total Lot Area = 9,736 sqft	
Midpoint-Rear Lot Line Area = 4,888 sqft	
Street Yard Area Maximum Allowed (50%)	2,444 sqft
structure Area Provided (49.9%)	2,430 sqft

4 3 1



NOTE: See A101 For Fully Dimensioned Site Plan

SITE PLAN: Proposed Footprint



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NEW RESIDENCE
FOR DILIP NANDEKAR
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DALLAS, TEXAS 75205

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SHEET TITLE

DEVELOPMENT
SITE PLAN

SHEET OF X

A101

BUILDING LAYOUT NOTES:

Control, Grades, and Elevation:

1. All finished concrete surfaces shall be a minimum of 1 inch above the finished grade.

Veneer Walls (Stone, Brick, Stucco, Etc.):

2. Brick: Modular thin veneer, Grade SW brick, alternately stacked (unless noted otherwise).
3. Stucco.: Standard three coat with fine texture finish. Control joints according to elevations, 20' o.c. max.
4. Siding: NewTechWood Composite or Fiber Cementious Board. Refer to manufacturer's installation guides.
5. Place ladder type horizontal reinforcement at every other course.
6. Mortar joints: all joints shall be a tuck point concave tooled joint with a 3/8" width.

Veneer Walls (Stone, Brick, Stucco, Etc.):

7. Construction Joints: Vertical masonry movement joints to be 20' o.c. max, unless noted otherwise, and shall not cross lintels or brick shelf angles.
8. Cutting of masonry blocks: all cutting, trimming, or shaping shall be done by a motorized masonry saw. Breaking or splitting will not be accepted.
9. Weep holes: Provide at 24" o.c. at the base of the masonry facade one course above the foundation and immediately above all other flashing.
10. Flashing: Provide galvanized steel flashing at the base of the masonry facade one course above the foundation. Provide flashing above all bond beams and openings.
11. Sealant: All masonry surfaces to be coated with Behr Premium Waterproofor if requested by Owner.

Stud Walls.:

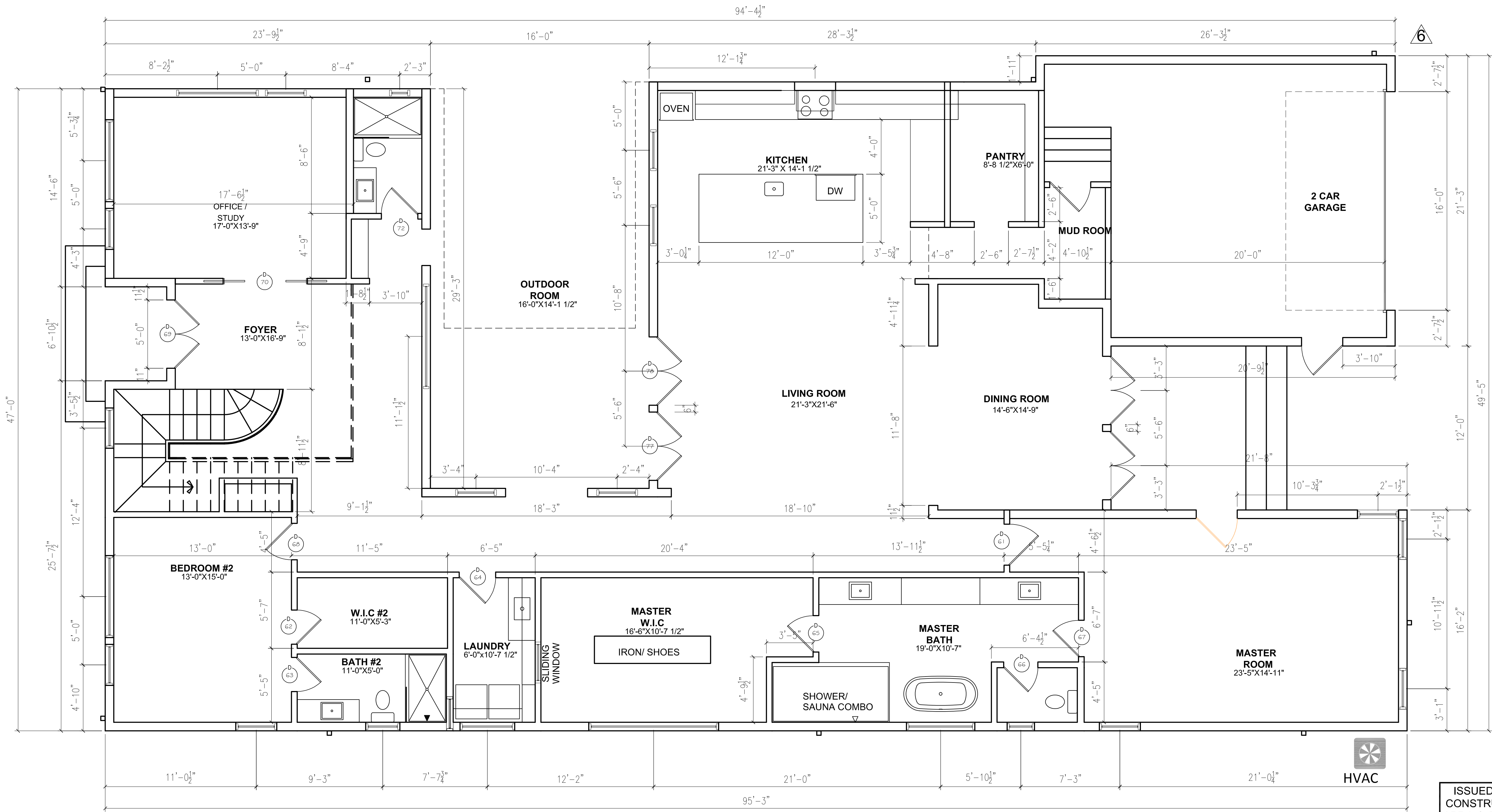
12. Wood Studs: All exterior, demising, load bearing, and wet wall studs to be 2"x6" spaced at 16" on center. All other interior walls to be 2"x4" studs spaced at 16" on center. Refer to Structural Drawings for load bearing stud layout, sections, and details.
13. Fasteners: Fasten sheathing/decking to framing as specified in Structural Notes.
14. Sheathing: All exterior sheathing used in Cavity Walls to be Wood Structural Panel (ex: OSB).
15. Vapor Barrier: Tyvek HomeWrap or approved equal. Vapor barrier used over sheathing to be wrapped above flashing at the base and above window locations.

General Notes:

16. Refer to plan sheet A501 for wall sections.
17. All columns, beams, struct., connections, and details shall be built based on structural drawings.
18. Work required by the Contract Documents for which no separate bid item has been provided in the Bid Proposal, shall be provided for as required by the Contractor. Work provided by the Contractor to facilitate the successful completion of the project for which no bid item has been provided, should also be considered as subsidiary to the total amount bid or the item it pertains to.

VERIFICATION OF MEASUREMENTS:

IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO VERIFY ALL DIMENSIONS & MAKE NECESSARY ADJUSTMENTS PRIOR & DURING CONSTRUCTION.



1 1st FLOOR PLAN
SCALE 1/4" = 1'-0"



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NEW RESIDENCE
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ISSUE DATE
07-26-2022
PROJECT NUMBER
2022.0726.006
SHEET TITLE

1ST FLOOR
PLAN

SHEET OF X

A201

Control, Grades, and Elevation:

1. All finished concrete surfaces shall be a minimum of 1 inch above the finished grade.

Veneer Walls (Stone, Brick, Stucco, Etc.):

2. Brick: Modular thin veneer, Grade SW brick, alternately stacked (unless noted otherwise).

3. Stucco.: Standard three coat with fine texture finish. Control joints according to elevations, 20' o.c. max.

4. Siding: NewTechWood Composite or Fiber Cementitious Board. Refer to manufacturer's installation guides.

- Place ladder type horizontal reinforcement at every other course.

6. Mortar joints: all joints shall be a tuck point concave tooled joint with a 3/8" width.

Veneer Walls (Stone, Brick, Stucco, Etc.):

7. Construction Joints: Vertical masonry movement joints to be 20' o.c. max, unless noted otherwise, and shall not cross lintels or brick shelf angles.

8. Cutting of masonry blocks: all cutting, trimming, or shaping shall be done by a motorized masonry saw. Breaking or splitting will not be accepted.

9. Weep holes: Provide at 24" o.c. at the base of the masonry facade one course above the foundation and immediately above all other flashing.

10. Flashing: Provide galvanized steel flashing at the base of the masonry facade one course above the foundation. Provide flashing above all bond beams and openings.

11. Sealant: All masonry surfaces to be coated with Behr Premium Waterproofer if requested by Owner.

Stud Walls.:

12. Wood Studs: All exterior, demising, load bearing, and wet wall studs to be 2"x6" spaced at 16" on center. All other interior walls to be 2"x4" studs spaced at 16" on center. Refer to Structural Drawings for load bearing stud layout, sections, and details.

13. Fasteners: Fasten sheathing/decking to framing as specified in Structural Notes.

14. Sheathing: All exterior sheathing used in Cavity Walls to be Wood Structural Panel (ex: OSB).

15. Vapor Barrier: Tyvek HomeWrap or approved equal.
Vapor barrier used over sheathing to be wrapped above flashing at the base and above window locations.

Roof

16. Slope $\frac{1}{4}$ " per foot slope to be achieved using built-up tapered insulation. Base insulation shall be a minimum of 3" thick with an R-value not less than R-15.

17. Roof Drains: Roof and Overflow drain(s) and scupper(s) are to drain to daylight in an inconspicuous location(s). Wade Drains 3004-198 (3003-198) approved equal.

18. Downspouts: Overflow drain(s) and scupper(s) are to drain to daylight in an inconspicuous location (see Drains / 3948-SS (3944-SS))

19. Membrane Roofing: Membrane roof shall have a minimum solar reflectance value of 0.65 (initial) and 0.5 (after 3 years) with 80% thermal emittance. Use Firestone TPO or approved equal.

General Notes:

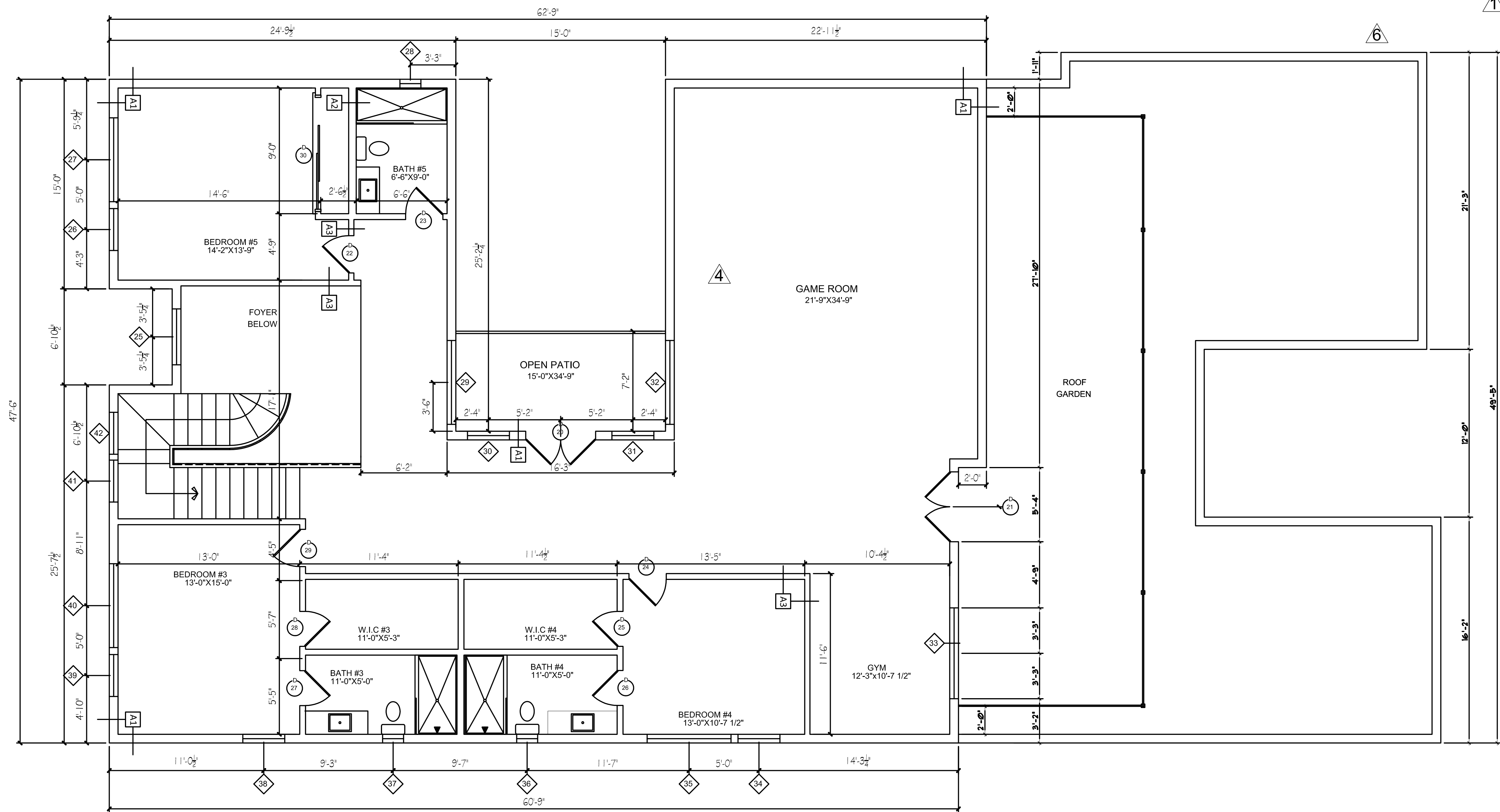
20. Refer to plan sheet A501 for wall sections.

21. All columns, beams, struct., connections, and details shall be built based on structural drawings.

22. Work required by the Contract Documents for which no separate bid item has been provided in the Bid Proposal, shall be provided for as required by the Contractor. Work provided by the Contractor to facilitate the successful completion of the project for which no bid item has been provided, should also be considered as subsidiary to the total amount bid or the item it pertains to.

VERIFICATION OF MEASUREMENTS:

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1

2nd FLOOR PLAN

SCALE: 1/4" = 1'-0"

ISSUED FOR
CONSTRUCTION
APRIL 25TH , 2023

NEW RESIDENCE
FOR DILIP NANDEKAR
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DALLAS, TEXAS 75205

REVISION

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[2 CITY COMMENTS 08-09-22](#)
[1 CITY COMMENTS 07-26-22](#)

ISSUE DATE

07-26-2022

PROJECT NUMBER

2022.0726.006

SHEET TITLE

2ND FLOOR PLAN

SHEET

OF X

A202

BUILDING LAYOUT NOTES:

- Stud Walls:
1. Wood Studs: All exterior, demising, load bearing, and wet wall studs to be 2"x6" spaced at 16" on center. All other interior walls to be 2"x4" studs spaced at 16" on center. Refer to Structural Drawings for load bearing stud layout, sections, and details.

2. Fasteners: Fasten sheathing/decking to framing as specified in Structural Notes.

3. Sheathing: All exterior sheathing used in Cavity Walls to be Wood Structural Panel (ex: OSB).

4. Vapor Barrier: Tyvek HomeWrap or approved equal. Vapor barrier used over sheathing to be wrapped above flashing at the base and above window locations.

5.

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- Roof:
7. Slope $\frac{1}{4}$ " per foot slope to be achieved using built-up tapered insulation. Base insulation shall be a minimum of 3" thick with an R-value not less than R-15.

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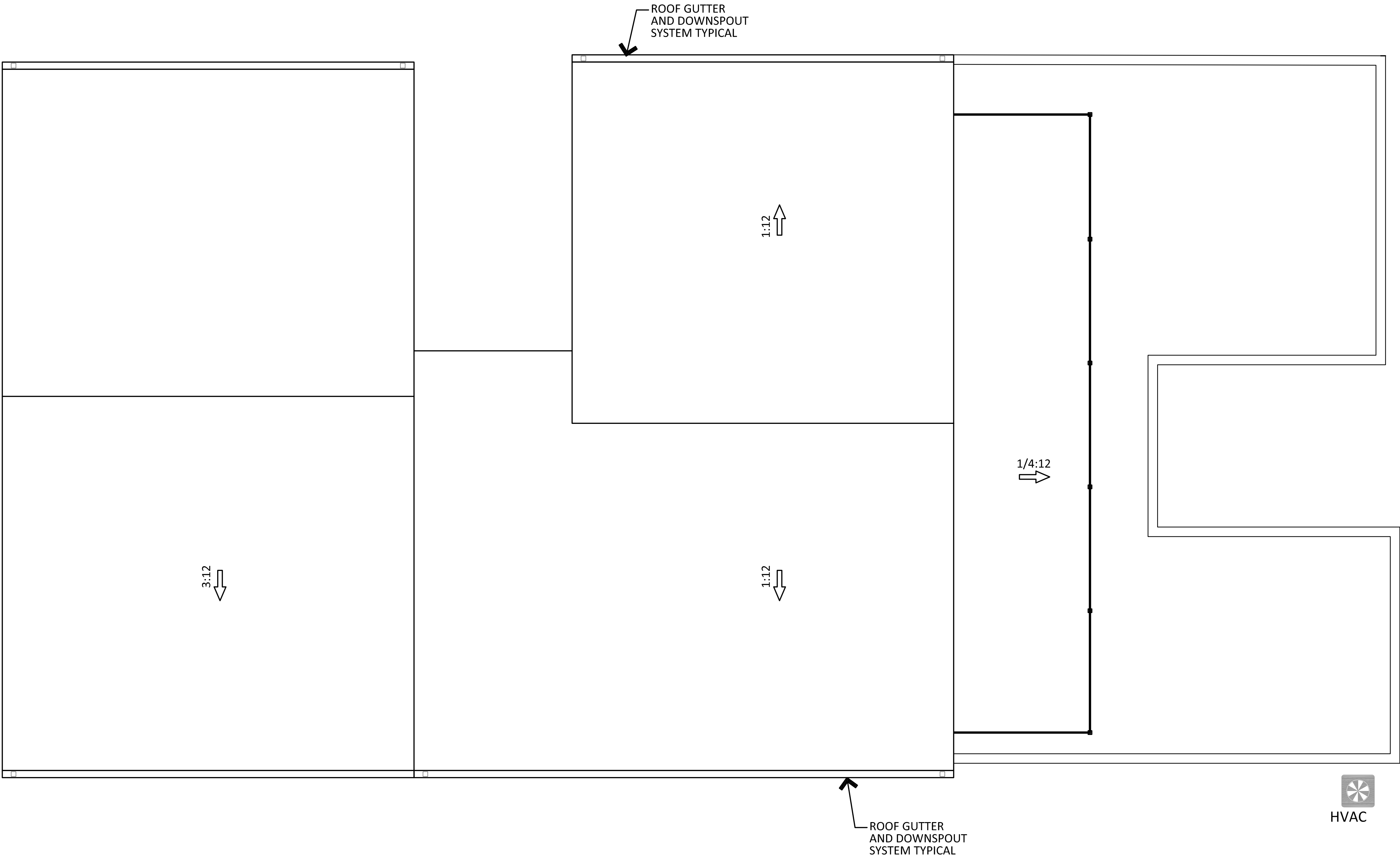
10. Membrane Roofing: Membrane roof shall have a minimum solar reflectance value of 0.65 (initial) and 0.5 (after 3 years) with 80% thermal emittance. Use Firestone TPO or approved equal.

11.

- General Notes:
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1

ROOF PLAN

SCALE $\frac{1}{4}$ " = 1'-0"

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3429 HAYNIE AVE
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REVISION	
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SHEET TITLE	

ROOF PLAN	
SHEET	OF X

A301



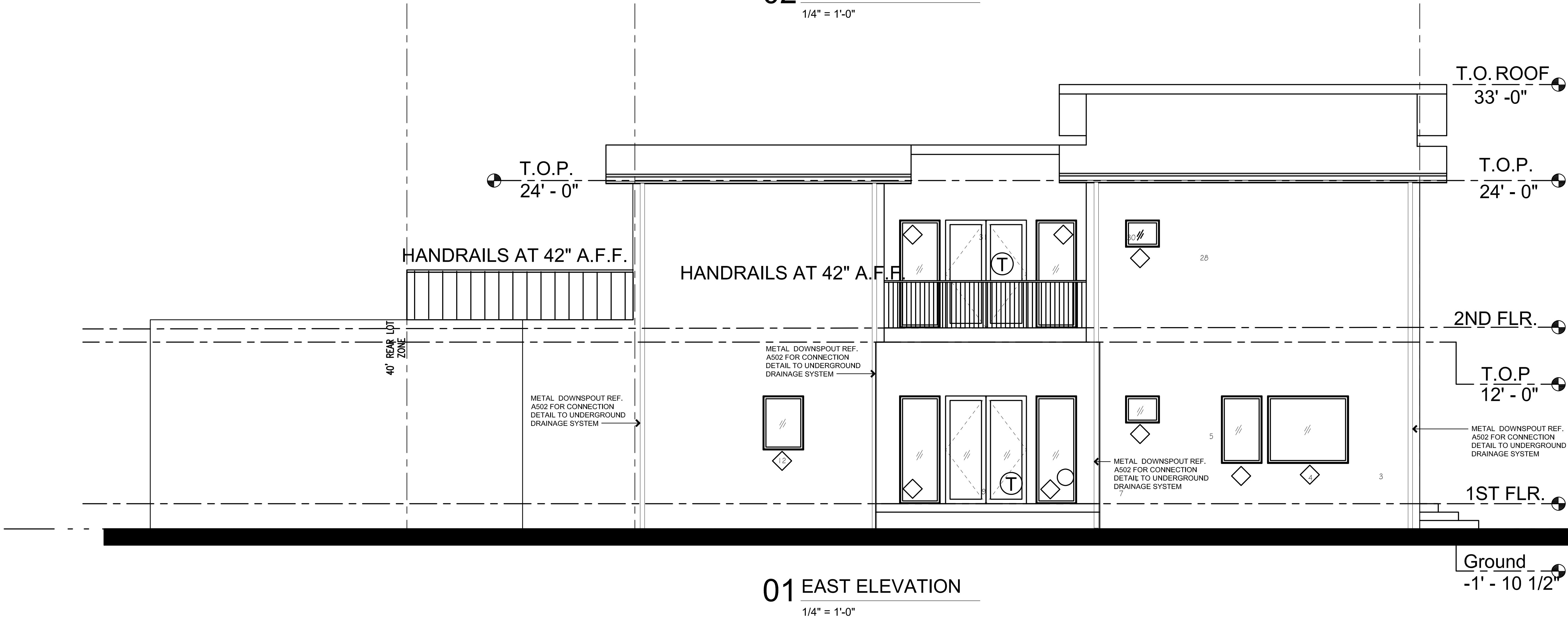
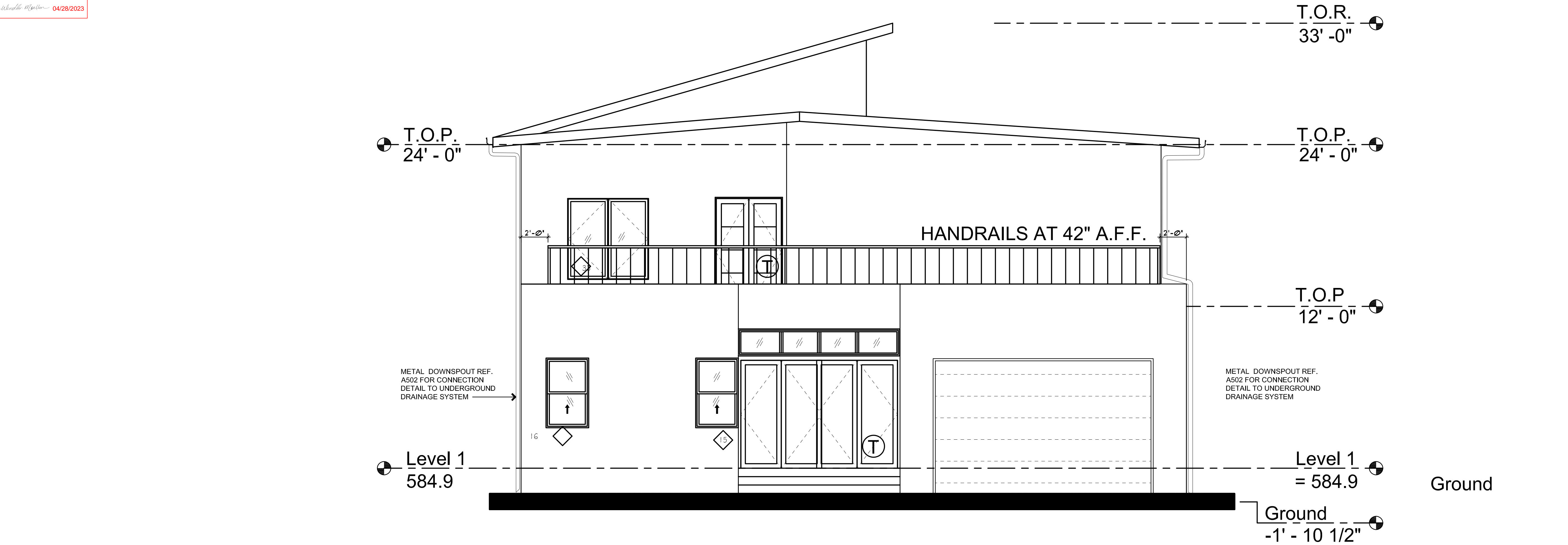
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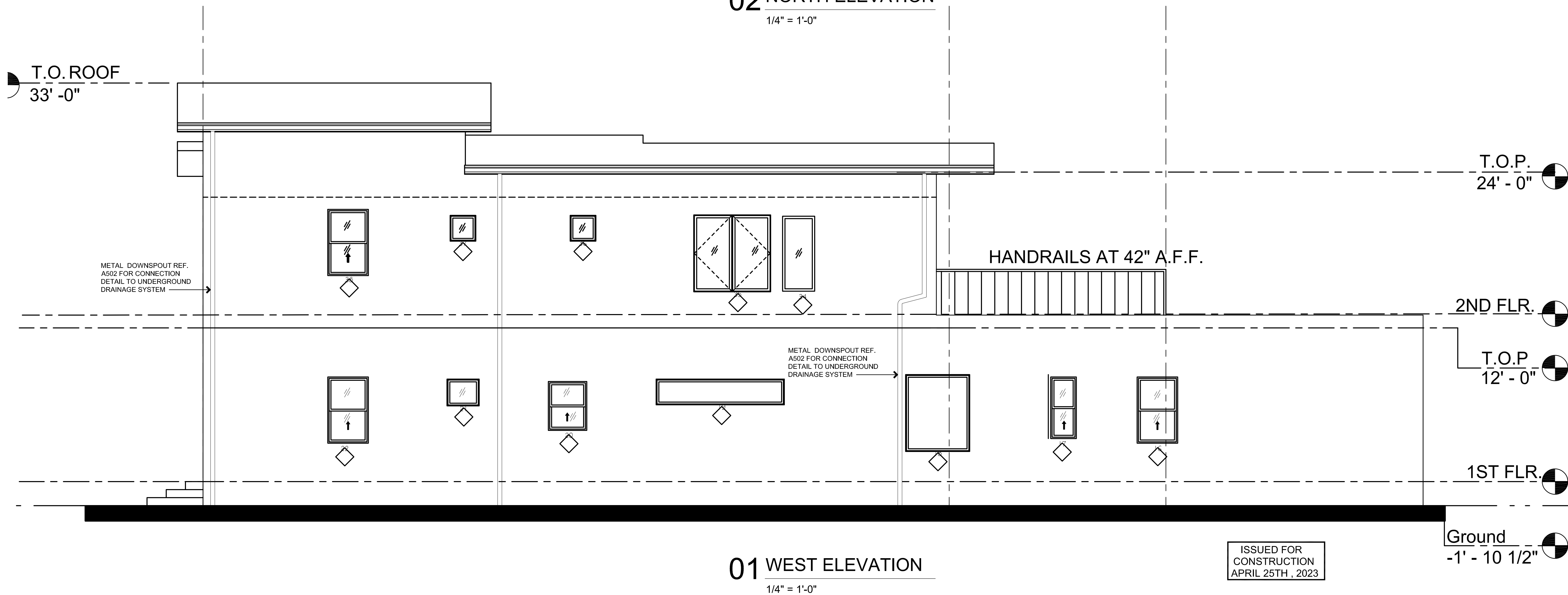
ISSUE DATE	07-26-2022
PROJECT NUMBER	2022.0726.006
SHEET TITLE	EXTERIOR ELEVATIONS
SHEET	OF X
A401	

ISSUED FOR
CONSTRUCTION
APRIL 25TH, 2023





02 NORTH ELEVATION
1/4" = 1'-0"



01 WEST ELEVATION
1/4" = 1'-0"

ISSUED FOR
CONSTRUCTION
APRIL 25TH, 2023



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- △ CITY COMMENTS 07-26-22

ISSUE DATE
07-26-2022

PROJECT NUMBER
2022.0726.006

SHEET TITLE

EXTERIOR
ELEVATIONS

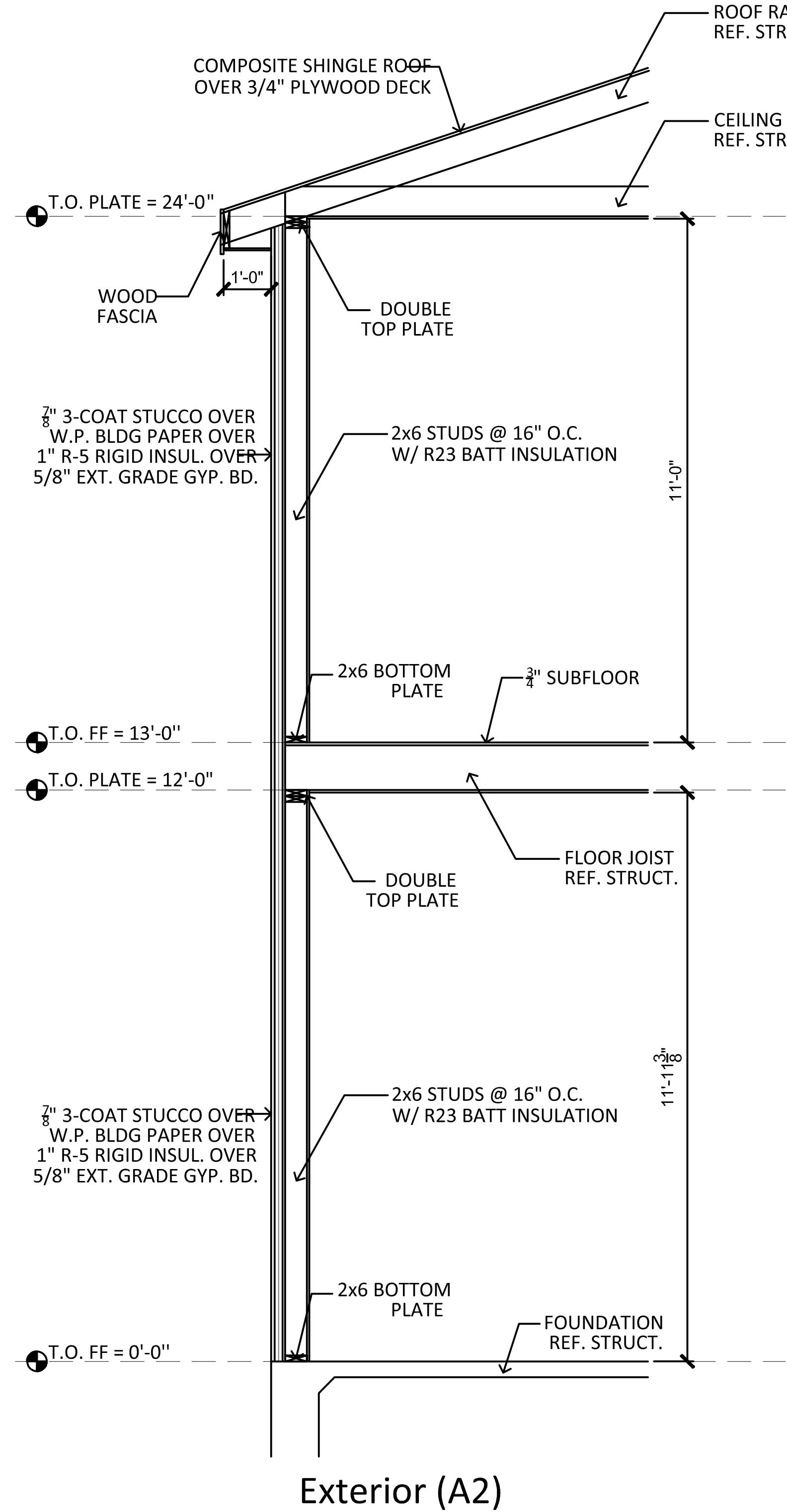
SHEET OF X

A402

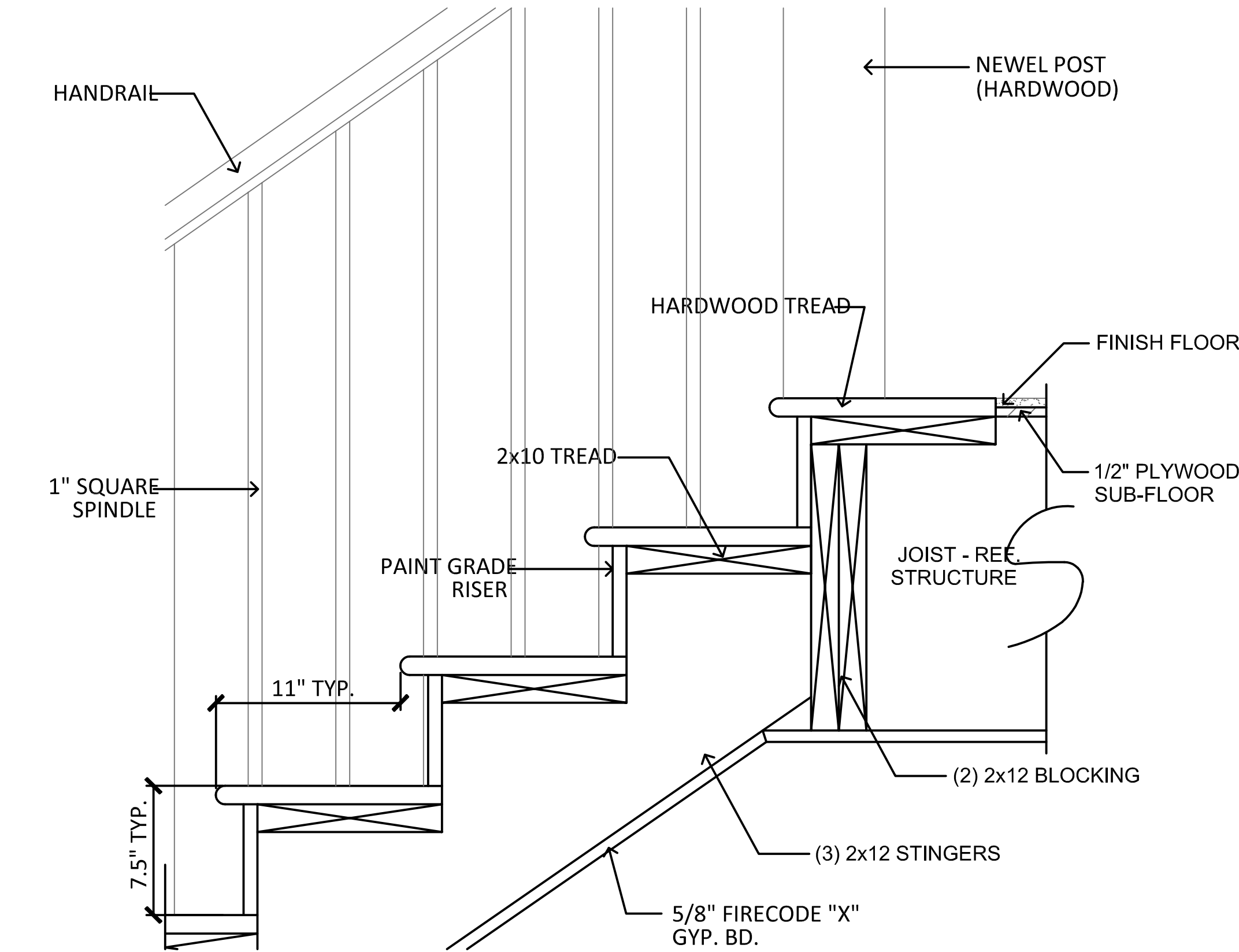
NEW RESIDENCE
FOR DILIP NANDEKAR
3429 HAYNIE AVE
DALLAS, TEXAS 75205

REVISION
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<div><div></div><div>CITY COMMENTS 04-07-23</div></div>
<div><div></div><div>CITY COMMENTS 03-22-23</div></div>
<div><div></div><div>CITY COMMENTS 02-20-23</div></div>
<div><div></div><div>CITY COMMENTS 12-10-22</div></div>
<div><div></div><div>CITY COMMENTS 09-30-22</div></div>
<div><div></div><div>CITY COMMENTS 08-09-22</div></div>
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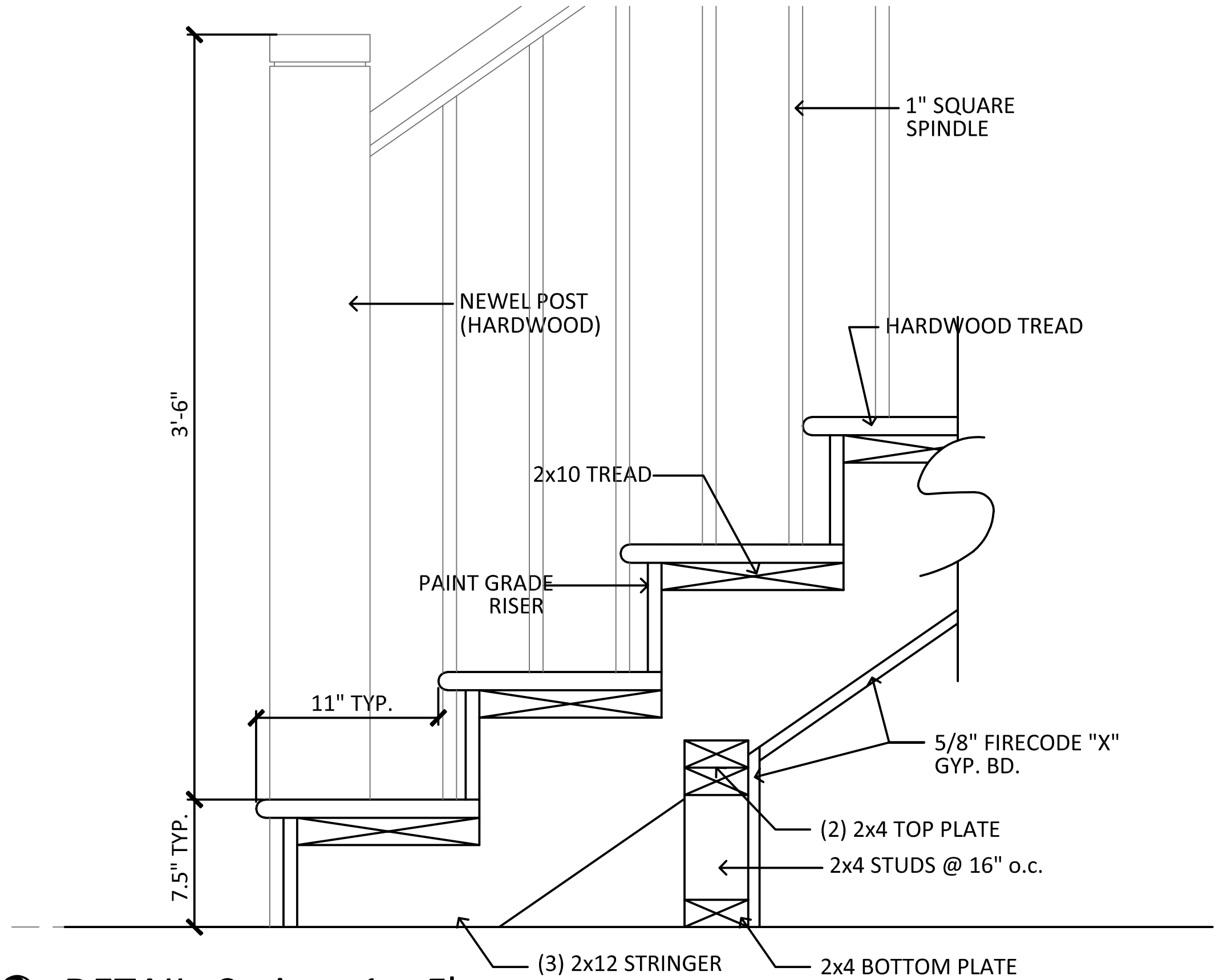
ISSUE DATE	07-26-2022
PROJECT NUMBER	2022.0726.006
SHEET TITLE	SECTIONS AND DETAILS
SHEET	OF X



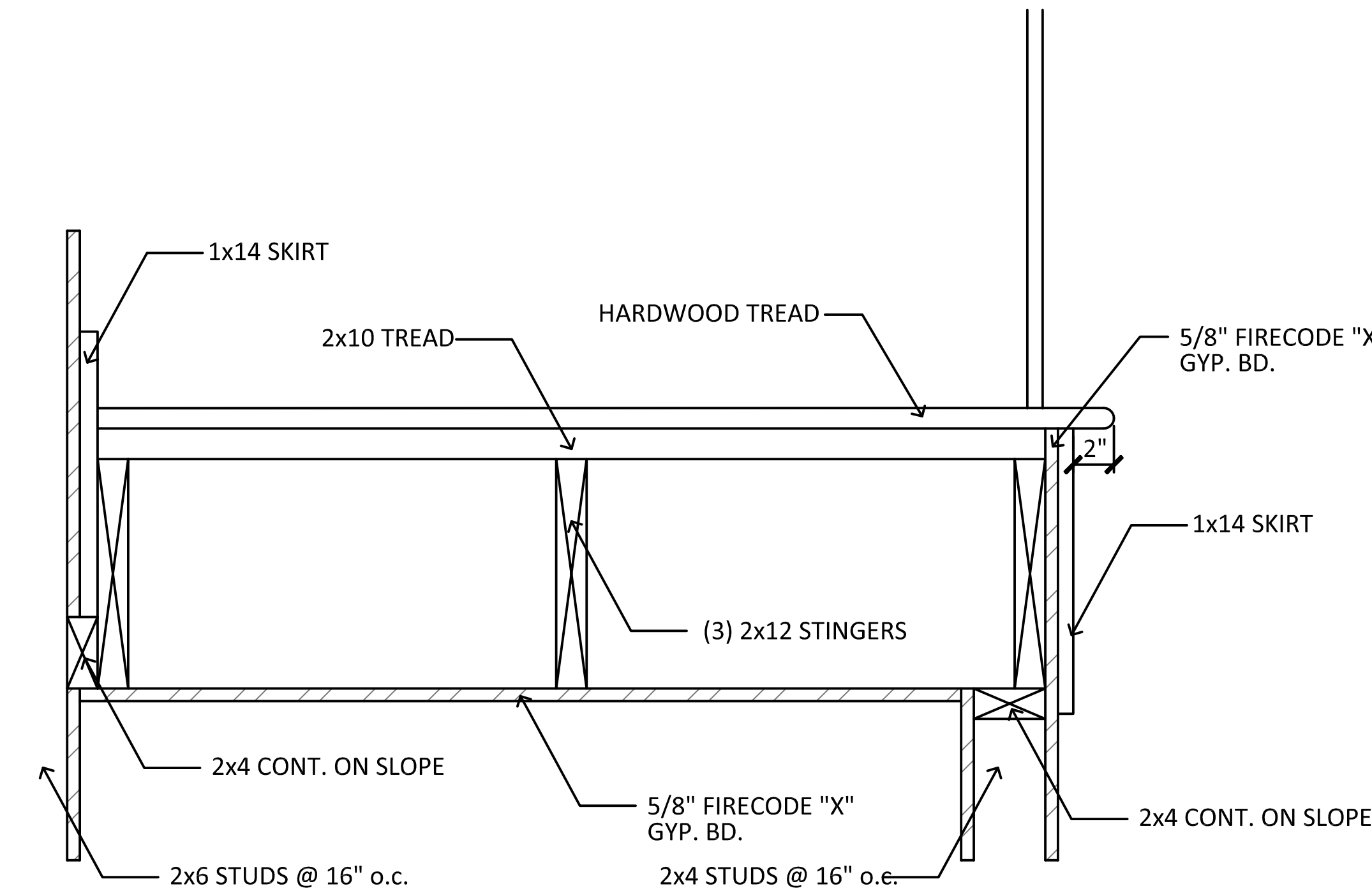
③ WALL SECTIONS: Typical



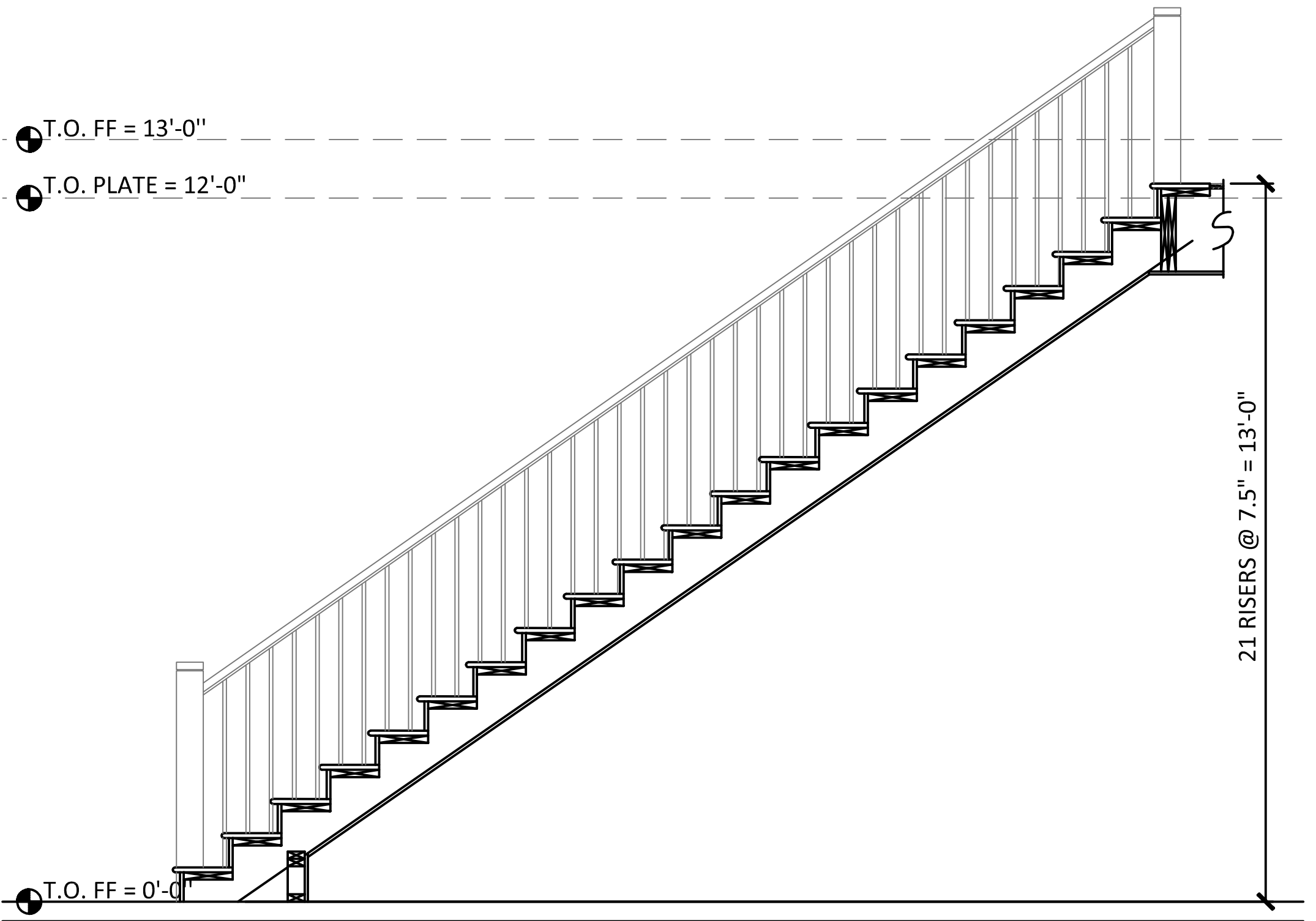
⑤ DETAIL: Stair at 2nd Floor



② DETAIL: Stair at 1st Floor



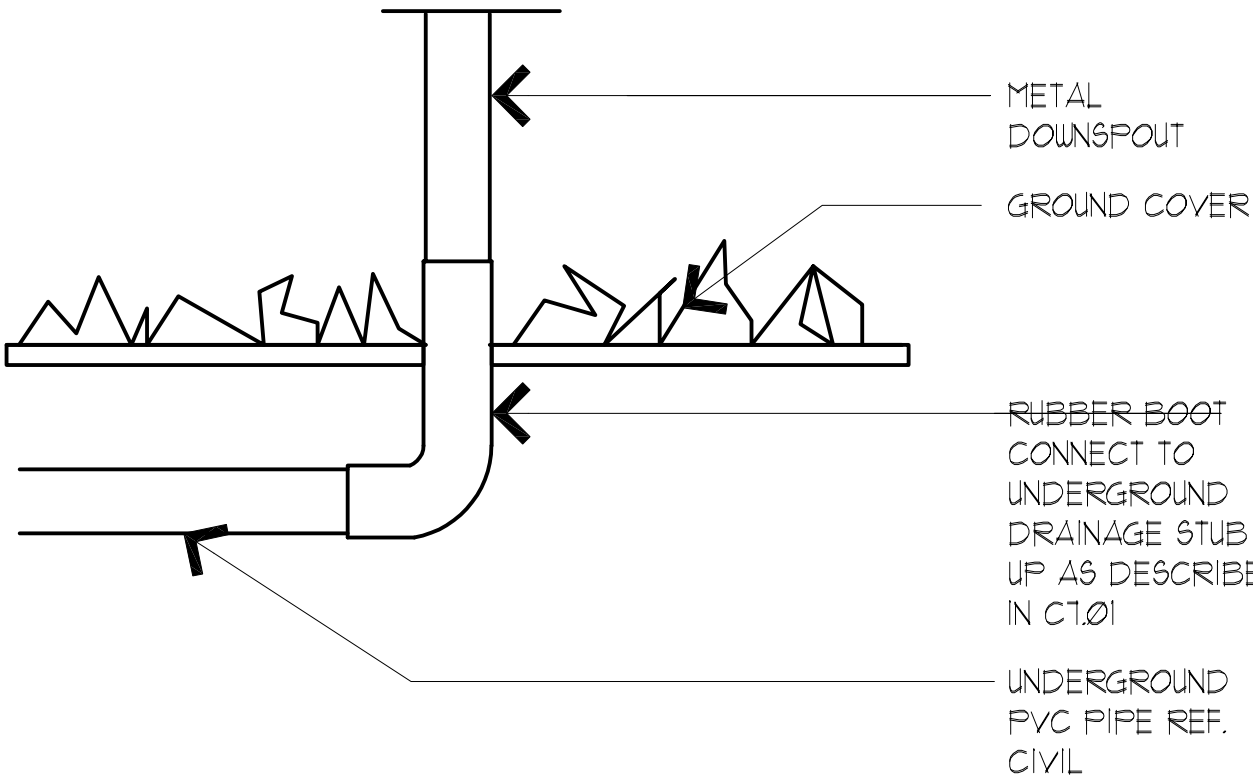
④ DETAIL: Stair Cross section



NOTE: REFER TO FLOOR PLAN FOR STAIR TREAD LAYOUT.

① STAIR SECTION: Typical

43



01 DETAIL

1" = 1'-0"

ISSUED FOR
CONSTRUCTION
APRIL 25TH , 2023



POST OFFICE BOX 380432
DUNCANVILLE , TEXAS 75138
phone: 214-245-8024
e-mail: d3architecture@yahoo.com














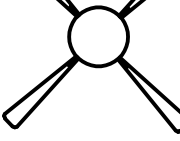


NEW RESIDENCE
FOR DILIP NANDEKAR
3429 HAYNIE AVE
DALLAS, TEXAS 75205

REVISION	
A	CITY COMMENTS 04-19-23
A	CITY COMMENTS 04-07-23
A	CITY COMMENTS 03-22-23
A	CITY COMMENTS 02-20-23
A	CITY COMMENTS 12-10-22
A	CITY COMMENTS 09-30-22
A	CITY COMMENTS 08-09-22
A	CITY COMMENTS 07-26-22
ISSUE DATE	
07-26-2022	
PROJECT NUMBER	
2022.0726.006	
SHEET TITLE	

DETAILS

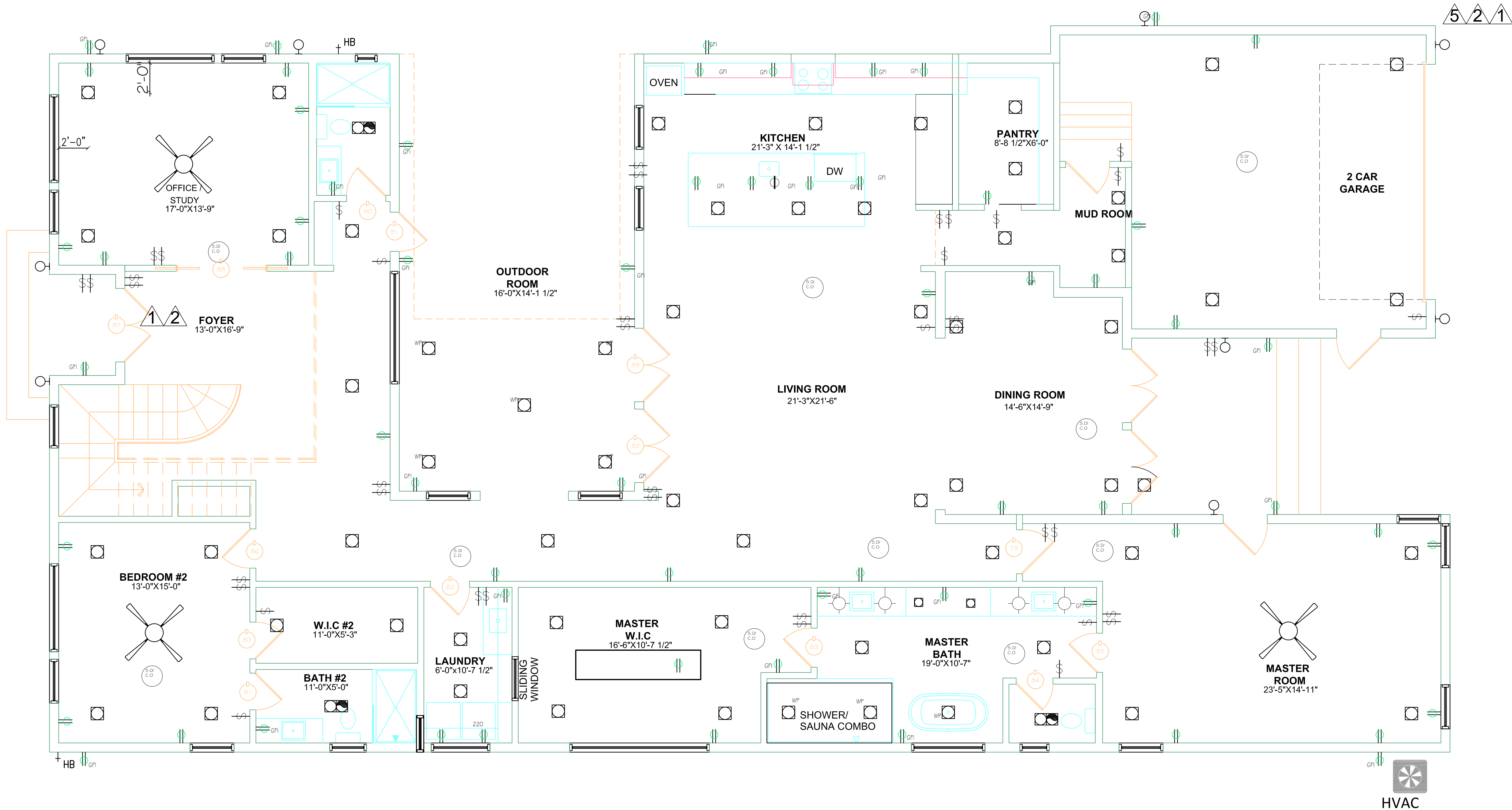
SHEET OF X

A502

ELECTRICAL LEGEND			
	DUPLEX OUTLET		HIGH EFFICACY RECESSED LIGHT
	110 V W/GROUND FAULT INTERRUPT		HIGH EFFICACY LIGHT FIXTURE
	220 V OUTLET		GARBAGE DISPOSAL
	WALL SWITCH		GAS BIB
	GARBAGE DISPOSAL SWITCH		HOSE BIB
	VACANCY SENSOR		WP waterproof
	4" DIA DRYER VENT		FAN & LIGHT COMBO
	SMOKE DETECTOR CARBON MONOXIDE ALARM		
	wall mount led light		

VERIFICATION OF MEASUREMENTS:

IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO VERIFY ALL DIMENSIONS & MAKE NECESSARY ADJUSTMENTS PRIOR & DURING CONSTRUCTION.



1 ELECTRICAL PLAN: 1st Floor
SCALE:1/4"= 1'-0"

ISSUED FOR
CONSTRUCTION
APRIL 25TH , 2023

NEW RESIDENCE
FOR DILIP NANDEKAR
3429 HAYNIE AVE
DALLAS, TEXAS 75205

REVISION

- 1 CITY COMMENTS 04-19-23
- 2 CITY COMMENTS 04-07-23
- 3 CITY COMMENTS 03-22-23
- 4 CITY COMMENTS 02-20-23
- 5 CITY COMMENTS 12-10-22
- 6 CITY COMMENTS 09-30-22
- 7 CITY COMMENTS 08-09-22
- 8 CITY COMMENTS 07-26-22


















ISSUE DATE
07-26-2022

PROJECT NUMBER
2022.0726.006

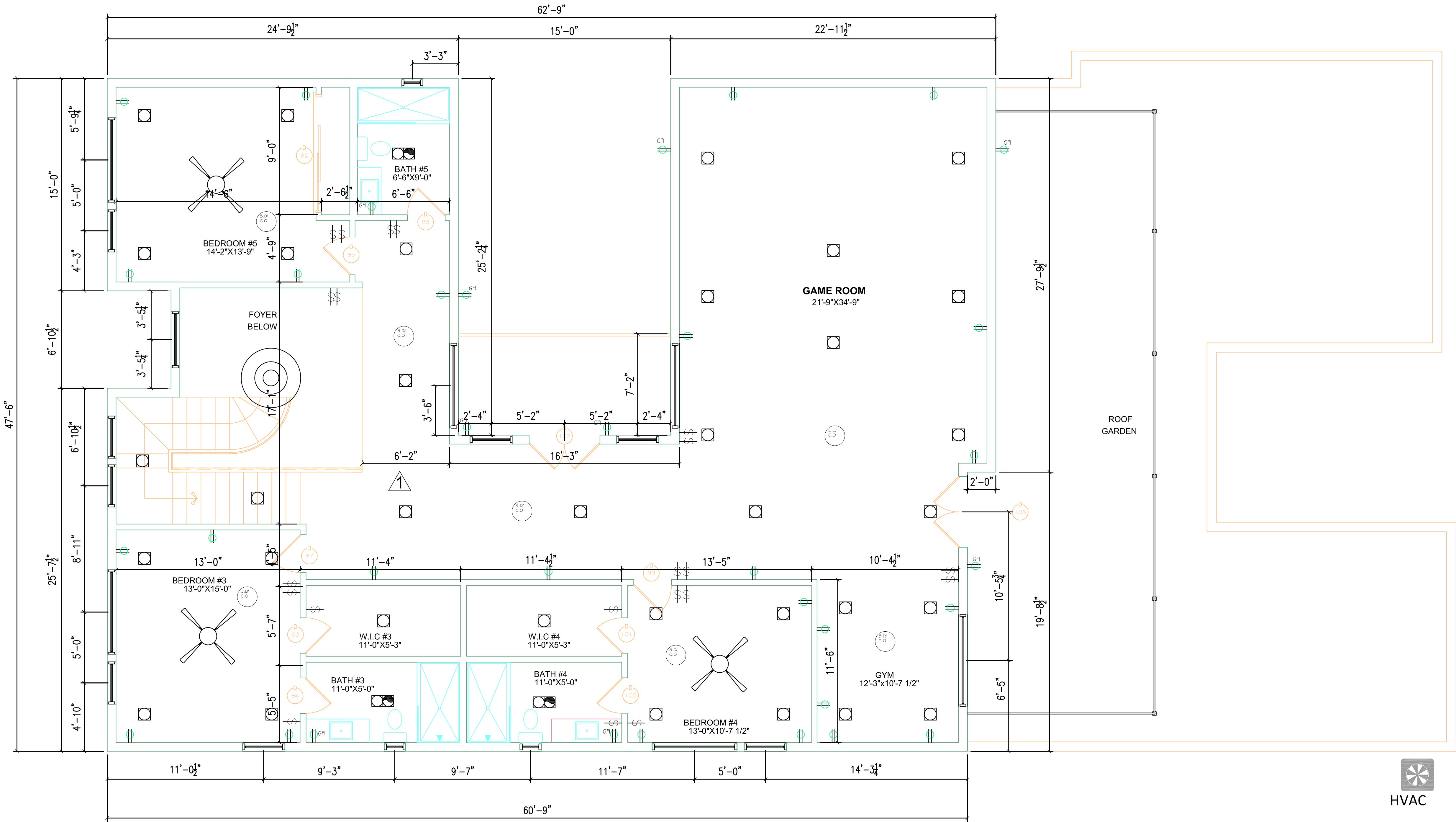
SHEET TITLE

ELECTRICAL
PLAN
1ST FLOOR
SHEET OF X

E1

ELECTRICAL LEGEND			
	DUPLEX OUTLET		HIGH EFFICACY RECESSED LIGHT
	GFI 110 V W/GROUND FAULT INTERRUPT		HIGH EFFICACY LIGHT FIXTURE
	220 V OUTLET		GARBAGE DISPOSAL
	WALL SWITCH		GAS BIB
	G.D. GARBAGE DISPOSAL SWITCH		HOSE BIB
	V.S. VACANCY SENSOR		WP WATERPROOF
	4\" data-bbox="21 706 68 766"/>		
	S.D. SMOKE DETECTOR CARBON MONOXIDE ALARM		
	wall mount led light		









VERIFICATION OF MEASUREMENTS:
IT SHALL BE THE CONTRACTORS RESPONSIBILITY
TO VERIFY ALL DIMENSIONS & MAKE NECESSARY
ADJUSTMENTS PRIOR & DURING CONSTRUCTION.



1 ELECTRICAL PLAN: 2nd Floor
SCALE: 1/4" = 1'-0"

ISSUED FOR
CONSTRUCTION
APRIL 25TH , 2023

NEW RESIDENCE
FOR DILIP NANDEKAR
3429 HAYNIE AVE
DALLAS, TEXAS 75205

REVISION	
	CITY COMMENTS 04-19-23
	CITY COMMENTS 04-07-23
	CITY COMMENTS 03-22-23
	CITY COMMENTS 02-20-23
	CITY COMMENTS 12-10-22
	CITY COMMENTS 09-30-22
	CITY COMMENTS 08-09-22
	CITY COMMENTS 07-26-22
ISSUE DATE	
07-26-2022	
PROJECT NUMBER	
2022.0726.006	
SHEET TITLE	
ELECTRICAL PLAN	
2ND FLOOR	
SHEET OF X	

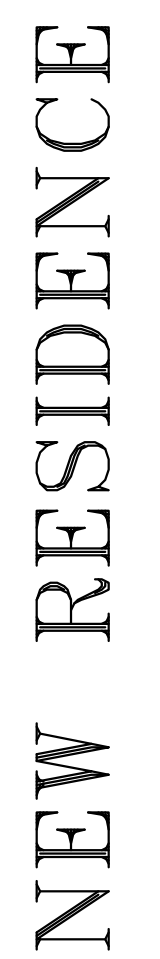
— SCALE: 1/4" = 1'-0"

VERIFY ALL DIMENSIONS
PRIOR TO CONSTRUCTION

① REFERENCE SHEET S6 FOR PIER DETAILS



Texas Eng. Firm : 20170

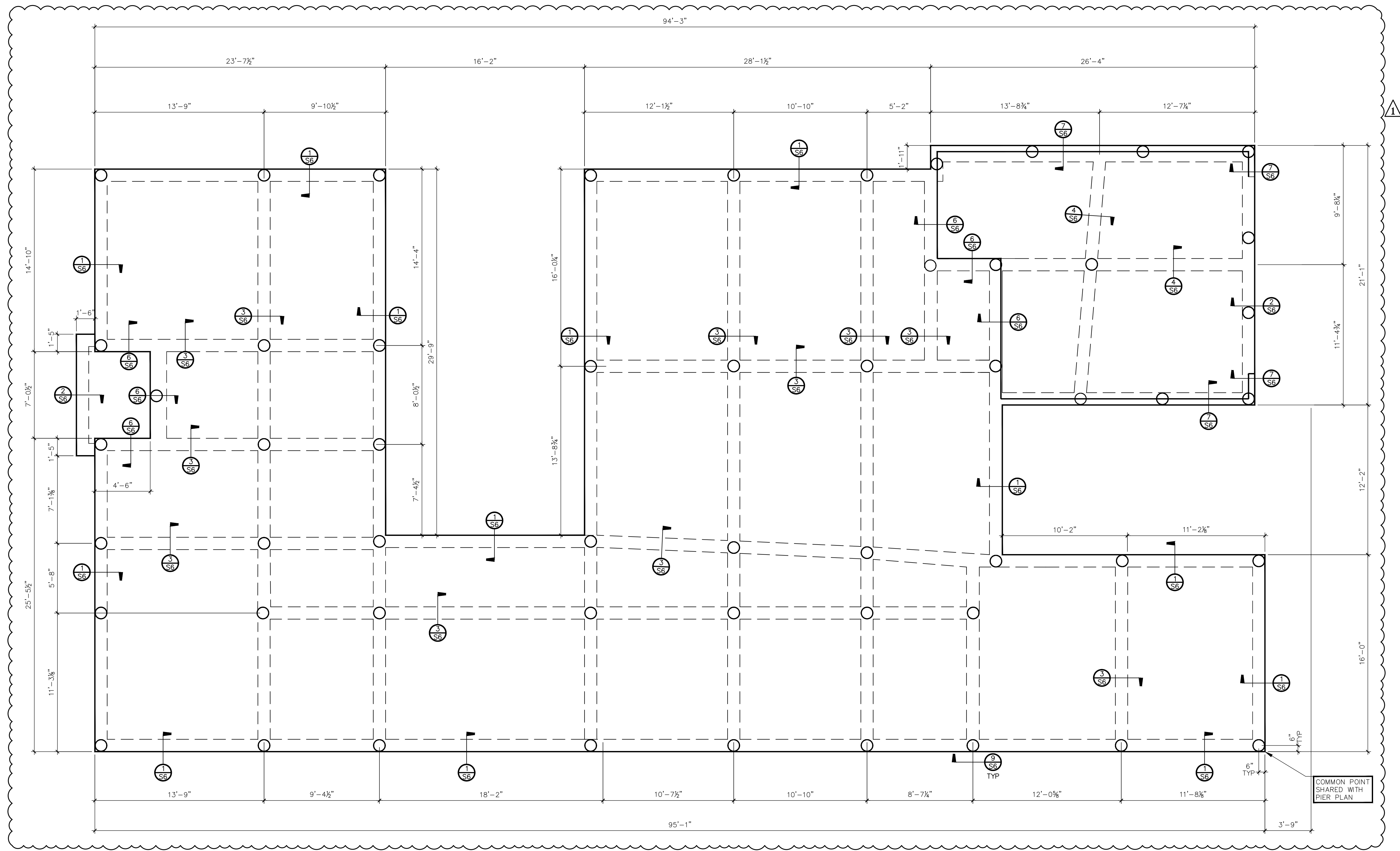


3429 HAYNIE AVENUE
DALLAS, TEXAS

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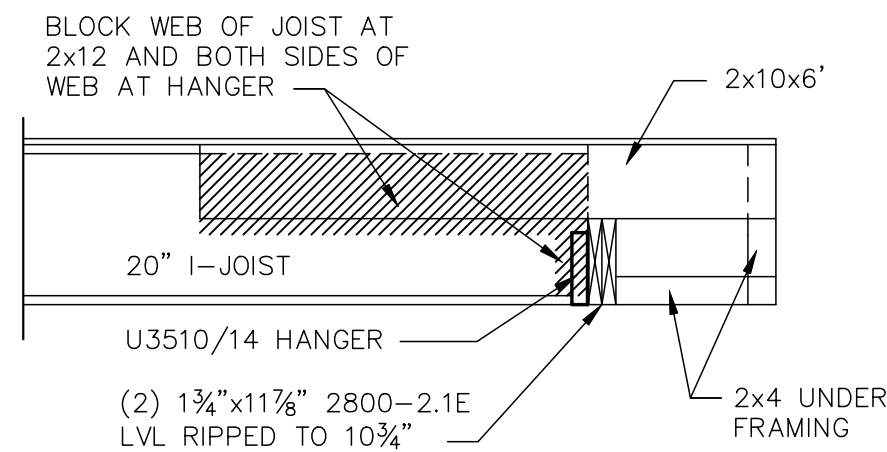
2 OF 7

PROJECT No. 45939

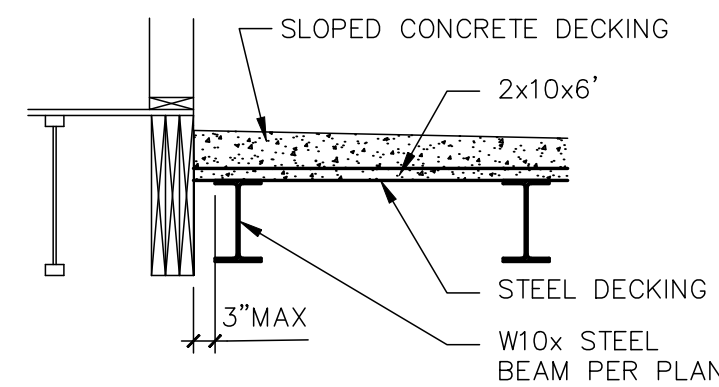


Issued For Construction

VERIFY ALL DIMENSIONS
PRIOR TO CONSTRUCTION



17 DETAIL
SCALE: 1/2" = 1'-0"



18 DETAIL
SCALE: 1/2" = 1'-0"

ALL EXTERIOR WALL SHEATHING SHALL BE 15/32" PLYWOOD OF 5/8" OSB W/ 8d RS NAILS @ 6" O.C. ALONG SUPPORTED EDGES AND 12" O.C. IN FIELD

ALL INTERIOR WALL SHEATHING SHALL BE 1/2" GYPSUM BOARD W/ #6x1-1/4" TYPE S OR W SCREWS @ 6" O.C. ALONG SUPPORTED EDGES AND 12" O.C. IN FIELD

ALL FLOOR SHEATHING SHALL BE 23/32" PLYWOOD OF 3/4" O.S.B. W/ 10d R.S. NAILS @ 6" O.C. ALONG SUPPORTED EDGES AND 12" O.C. IN FIELD

PLAN NOTES

- 18" BCI 60-2.0 DF FLOOR JOISTS @ 16" O.C. - BLOCK WEB AT BEARING EACH END
- 18" BCI 6500-1.8 DF FLOOR JOISTS @ 24" O.C.
- 2x8 SP#2 DECK JOIST @ 24" O.C.
- SOLID BLOCK TO HEADER BELOW
- RIP TRIPLE PLY LVL TO 6 3/8" AND FLUSH BOTTOM OF BEAM
- HEADER ABOVE DOOR
- BEAM FLUSH IN FLOOR
- W10x30 DECK JOISTS @ 36" O.C.
- 4,000 PSI LIGHT WEIGHT CONCRETE ON GALVANIZED CORRUGATED STEEL DECKING W/6x6-W2.9xW2.9 REINFORCEMENT - MINIMUM DEPTH 3 1/2" MAXIMUM DEPTH 6 3/4" - SLOPE PER ARCHITECTURAL PLANS
- W10x22 DECK JOISTS @ 36" O.C.
- W10x22 DECK JOISTS @ 48" O.C.
- 3" XS COLUMN BETWEEN THE PERPENDICULAR STEEL BEAMS FASTEN TOP AND BOTTOM SIM TO DETAIL 10/S6 (CONNECTION AT TOP OF COLUMN IN DETAIL 10/S6 TO BE DONE ON TOP AND BOTTOM OF THIS COLUMN)

BEAM / HEADER SCHEDULE

NOTE: MEMBERS ARE ASSUMED TO BE DROPPED UNLESS NOTED OTHERWISE

B1	(2) 2x6 SP#2
B2	(2) 2x8 SP#2
B3	(2) 2x10 SP#2
B4	(2) 2x12 SP#2
B5	(3) 2x8 SP#2
B6	(3) 2x10 SP#2
B7	(2) 1-3/4" x 7-1/4" 2.1E-2800 DF LVL
B8	(3) 1-3/4" x 7-1/4" 2.1E-2800 DF LVL
B9	(2) 1-3/4" x 9-1/4" 2.1E-2800 DF LVL
B10	(1) 1-3/4" x 11-7/8" 2.1E-2800 DF LVL
B11	(2) 1-3/4" x 11-7/8" 2.1E-2800 DF LVL
B12	(3) 1-3/4" x 11-7/8" 2.1E-2800 DF LVL
B13	(1) 1-3/4" x 14" 2.1E-2800 DF LVL
B14	(2) 1-3/4" x 14" 2.1E-2800 DF LVL
B15	(3) 1-3/4" x 14" 2.1E-2800 DF LVL
B16	(2) 1-3/4" x 16" 2.1E-2800 DF LVL
B17	(1) 1-3/4" x 16" 2.1E-2800 DF LVL
B18	(2) 1-3/4" x 18" 2.1E-2800 DF LVL
B19	(2) 1-3/4" x 20" 2.1E-2800 DF LVL
B20	W8x15
B21	(3) 1-3/4" x 20" 2.1E-2800 DF LVL

COLUMN SCHEDULE

NOTE: COLUMN CALLOUTS SHOWN @ ENDS OF WINDOWS / DOORS TO BE INTERPRETED AS TRIMMER/JACK STUD

C1	(2) 2x4
C2	(3) 2x4
C3	(4) 2x4
C4	(2) 2x6
C5	(3) 2x6
C6	(4) 2x6
C7	4x4 POST
C8	6x6 POST
C9	3" XS PIPE

HANGER SCHEDULE

NOTE: HANGERS SHALL BE SIMPSON STRONG-TIE HANGERS OR EQUIVALENT

H1	H2.5A
H2	LRU2BZ
H3	U26-2 SLOPED
H4	LSSJ28LZ
H5	LSSJ28RZ
H6	ITS2.37/11.88
H7	HU414
H8	HUS1.81/10
H9	MIU2.37/20
H10	LUS26
H11	HU1.81/5
H12	MIT3520
H13	HB5.5/20

TRIMMER/KING STUD SCHED.

OPENING SIZE:	TRIMMERS/KING STUDS
1'-0" - 2'-8"	(1) TRIMMER (1) KING STUD
2'-9" - 5'-0"	(1) TRIMMER (2) KING STUDS
5'-1" - 8'-0"	(2) TRIMMERS (3) KING STUDS

Issued For Construction

VERIFY ALL DIMENSIONS
PRIOR TO CONSTRUCTION

FLOOR AND LOWER CEILING PLAN

SCALE: 1/4" = 1'-0"

ALL INTERIOR WALLS TO BE 2x4 STUDS
@ 16" O.C. UNLESS NOTED OTHERWISE

ALL EXTERIOR WALLS TO BE 2x6 STUDS
@ 16" O.C. UNLESS NOTED OTHERWISE

ALL EXTERIOR WALL SHEATHING
SHALL BE 15/32" PLYWOOD W/ 8d
RS NAILS @ 6" O.C. ALONG
SUPPORTED EDGES AND 12" O.C. IN
FIELD

ALL INTERIOR WALL SHEATHING
SHALL BE 1/2" GYPSUM BOARD W/
#6x1-1/4" TYPE S OR W SCREWS @
6" O.C. ALONG SUPPORTED EDGES
AND 12" O.C. IN FIELD

PLAN NOTES

- 2x8 SP#2 CEILING JOISTS @ 16" O.C.
- 2x8 SP#2 CEILING JOISTS @ 24" O.C.
- 2x8 LEDGER W/ (2) 1/2"x4" LAG SCREWS @ 16" O.C. - FLUSH BOTTOM
- 2x4 STUD WALL ON BEAM TO HIGH ROOF ABOVE
- SOLID BLOCK TO HEADER BELOW

BEAM / HEADER SCHEDULE

NOTE:
MEMBERS ARE ASSUMED TO BE DROPPED
UNLESS NOTED OTHERWISE

B1	(2) 2x6 SP#2
B2	(2) 2x8 SP#2
B3	(2) 2x10 SP#2
B4	(2) 2x12 SP#2
B5	(3) 2x8 SP#2
B6	(3) 2x10 SP#2
B7	(2) 1-3/4" x 7-1/4" 2.1E-2800 DF LVL
B8	(3) 1-3/4" x 7-1/4" 2.1E-2800 DF LVL
B9	(2) 1-3/4" x 9-1/4" 2.1E-2800 DF LVL
B10	(1) 1-3/4" x 11-7/8" 2.1E-2800 DF LVL
B11	(2) 1-3/4" x 11-7/8" 2.1E-2800 DF LVL
B12	(3) 1-3/4" x 11-7/8" 2.1E-2800 DF LVL
B13	(1) 1-3/4" x 14" 2.1E-2800 DF LVL
B14	(2) 1-3/4" x 14" 2.1E-2800 DF LVL
B15	(3) 1-3/4" x 14" 2.1E-2800 DF LVL
B16	(2) 1-3/4" x 16" 2.1E-2800 DF LVL
B17	(1) 1-3/4" x 16" 2.1E-2800 DF LVL
B18	(2) 1-3/4" x 18" 2.1E-2800 DF LVL
B19	(2) 1-3/4" x 20" 2.1E-2800 DF LVL
B20	W8x15
B21	(3) 1-3/4" x 20" 2.1E-2800 DF LVL

COLUMN SCHEDULE

NOTE:
COLUMN CALLOUTS SHOWN @ ENDS OF
WINDOWS / DOORS TO BE INTERPRETED
AS TRIMMER/JACK STUD

C1	(2) 2x4
C2	(3) 2x4
C3	(4) 2x4
C4	(2) 2x6
C5	(3) 2x6
C6	(4) 2x6
C7	4x4 POST
C8	6x6 POST
C9	3" XS PIPE

HANGER SCHEDULE

NOTE:
HANGERS SHALL BE SIMPSON STRONG-TIE
HANGERS OR EQUIVALENT

H1	H2.5A
H2	LRU28Z
H3	U26-2 SLOPED
H4	LSSJ28LZ
H5	LSSJ28RZ
H6	ITS2.37/11.88
H7	HU414
H8	HU1.81/10
H9	MIU2.37/20
H10	LUS26
H11	HU1.81/5
H12	MIT3520
H13	HB5.5/20

TRIMMER/KING STUD SCHED.

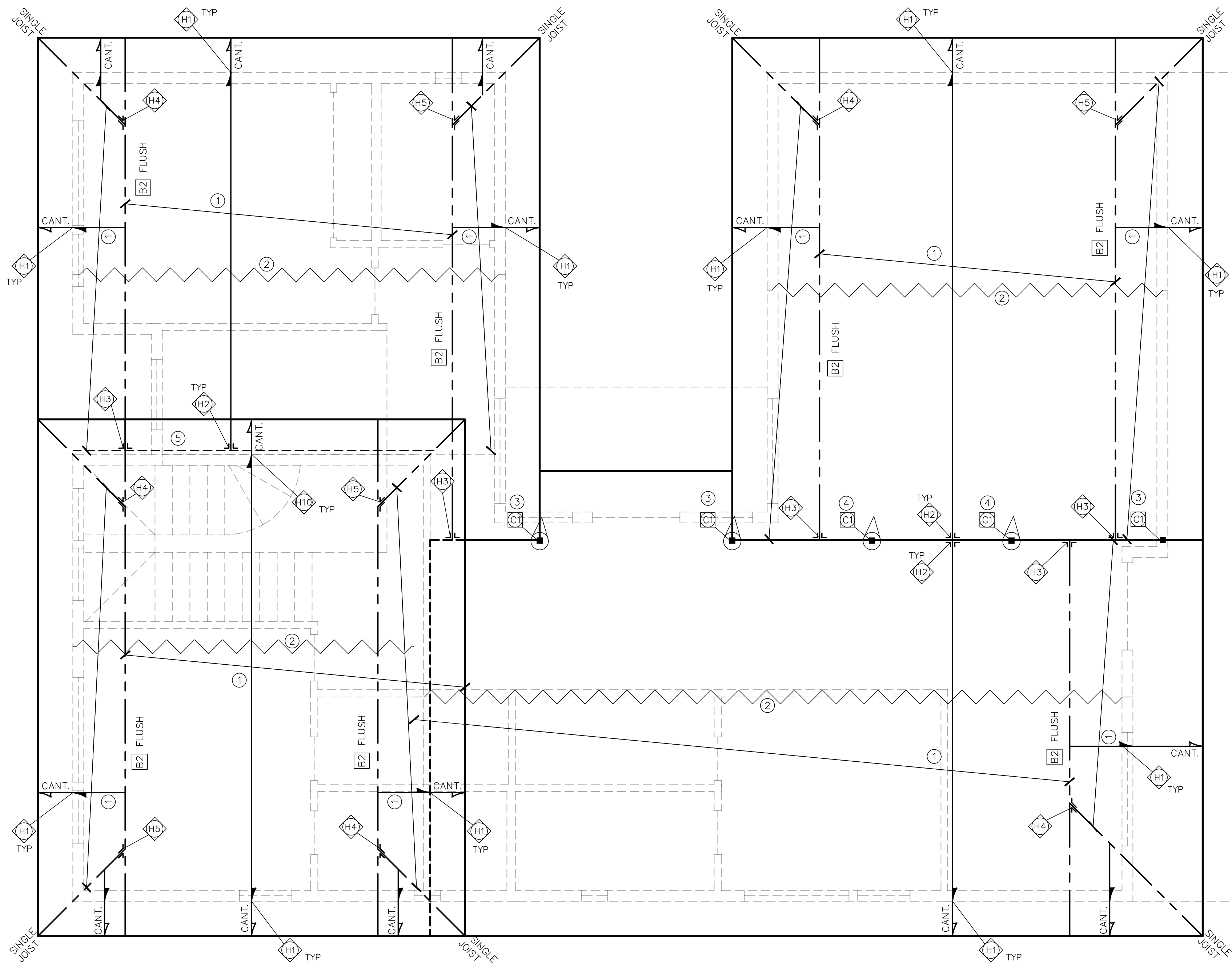
OPENING SIZE:	TRIMMERS/KING STUDS
1'-0" - 2'-8"	(1) TRIMMER (1) KING STUD
2'-9" - 5'-0"	(1) TRIMMER (2) KING STUDS
5'-1" - 8'-0"	(2) TRIMMERS (3) KING STUDS

Issued For Construction

VERIFY ALL DIMENSIONS
PRIOR TO CONSTRUCTION

UPPER CEILING FRAMING PLAN

SCALE: 1/4" = 1'-0"



ROOF FRAMING PLAN

SCALE: 1/4" = 1'-0"

PLAN NOTES	
①	2x8 SP#2 RAFTERS @ 24" O.C.
②	2x6 CONTINUOUS LATERAL BRACE NAILED TO BOTTOM OF RAFTERS W/ (2) 16d R.S. NAILS - ATTACH (2) 2X4 DIAGONAL BRACES AT 48" O.C. FRAME LATER BRACE TO CEILING JOIST BELOW
③	EXTEND COLUMN FROM RIDGE TO WALL BELOW
④	BRACE TO BEAM IN CEILING
⑤	2x8 LEDGER W/ (2) 1/2"x4" LAG SCREWS @ 16" O.C.

BEAM / HEADER SCHEDULE	
NOTE: MEMBERS ARE ASSUMED TO BE DROPPED UNLESS NOTED OTHERWISE	
B1	(2) 2x6 SP#2
B2	(2) 2x8 SP#2
B3	(2) 2x10 SP#2
B4	(2) 2x12 SP#2
B5	(3) 2x8 SP#2
B6	(3) 2x10 SP#2
B7	(2) 1-3/4" x 7-1/4" 2.1E-2800 DF LVL
B8	(3) 1-3/4" x 7-1/4" 2.1E-2800 DF LVL
B9	(2) 1-3/4" x 9-1/4" 2.1E-2800 DF LVL
B10	(1) 1-3/4" x 11-7/8" 2.1E-2800 DF LVL
B11	(2) 1-3/4" x 11-7/8" 2.1E-2800 DF LVL
B12	(3) 1-3/4" x 11-7/8" 2.1E-2800 DF LVL
B13	(1) 1-3/4" x 14" 2.1E-2800 DF LVL
B14	(2) 1-3/4" x 14" 2.1E-2800 DF LVL
B15	(3) 1-3/4" x 14" 2.1E-2800 DF LVL
B16	(2) 1-3/4" x 16" 2.1E-2800 DF LVL
B17	(1) 1-3/4" x 16" 2.1E-2800 DF LVL
B18	(2) 1-3/4" x 18" 2.1E-2800 DF LVL
B19	(2) 1-3/4" x 20" 2.1E-2800 DF LVL
B20	W8x15
B21	(3) 1-3/4" x 20" 2.1E-2800 DF LVL

COLUMN SCHEDULE	
NOTE: COLUMN CALLOUTS SHOWN @ ENDS OF WINDOWS / DOORS TO BE INTERPRETED AS TRIMMER/JACK STUD	
C1	(2) 2x4
C2	(3) 2x4
C3	(4) 2x4
C4	(2) 2x6
C5	(3) 2x6
C6	(4) 2x6
C7	4x4 POST
C8	6x6 POST
C9	3" XS PIPE

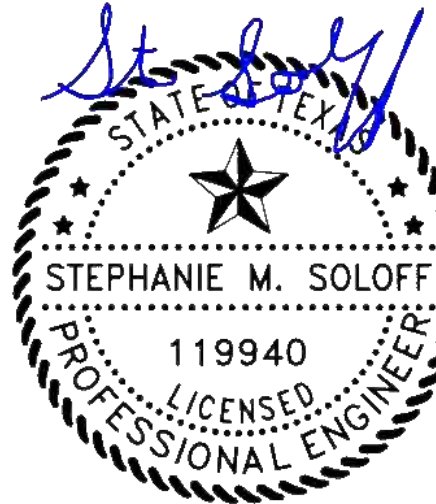
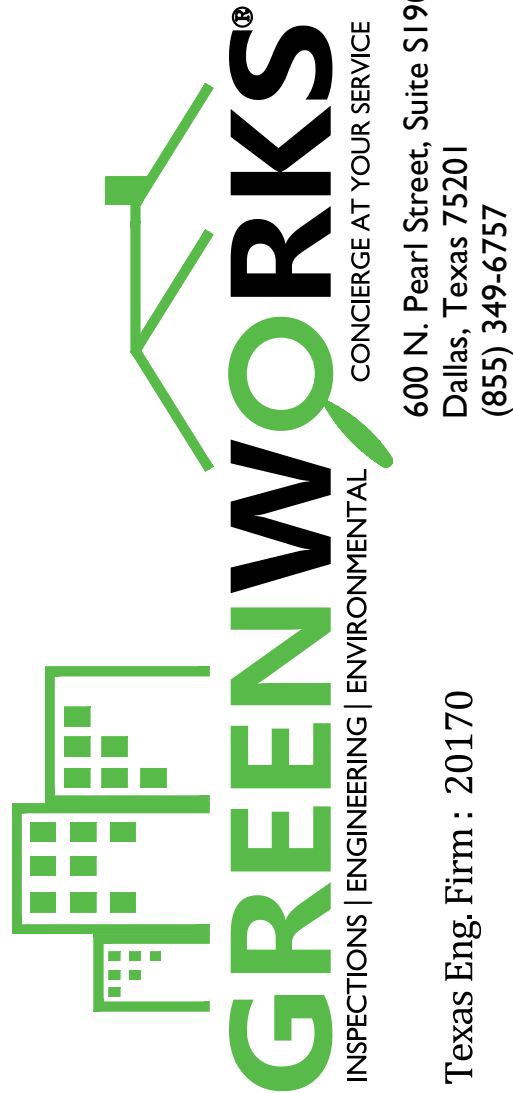
HANGER SCHEDULE	
NOTE: HANGERS SHALL BE SIMPSON STRONG-TIE HANGERS OR EQUIVALENT	
H1	H2.5A
H2	LRU28Z
H3	U26-2 SLOPED
H4	LSSJ28LZ
H5	LSSJ28RZ
H6	ITS2.37/11.88
H7	HU414
H8	HUS1.81/10
H9	MIU2.37/20
H10	LUS26
H11	HU1.81/5
H12	MIT3520
H13	HB5.5/20

ALL ROOF SHEATHING SHALL BE
15/32" PLYWOOD OF 7/16" OSB
W/ 8d RS NAILS @ 6" O.C. ALONG
SUPPORTED EDGES AND 12" O.C. IN
FIELD

FASTEN RAFTERS W/ (3) 10d
R.S. NAILS TOE-NAILED U.N.O

Issued For Construction

VERIFY ALL DIMENSIONS
PRIOR TO CONSTRUCTION



NEW RESIDENCE
3429 HAYNIE AVENUE
DALLAS, TEXAS

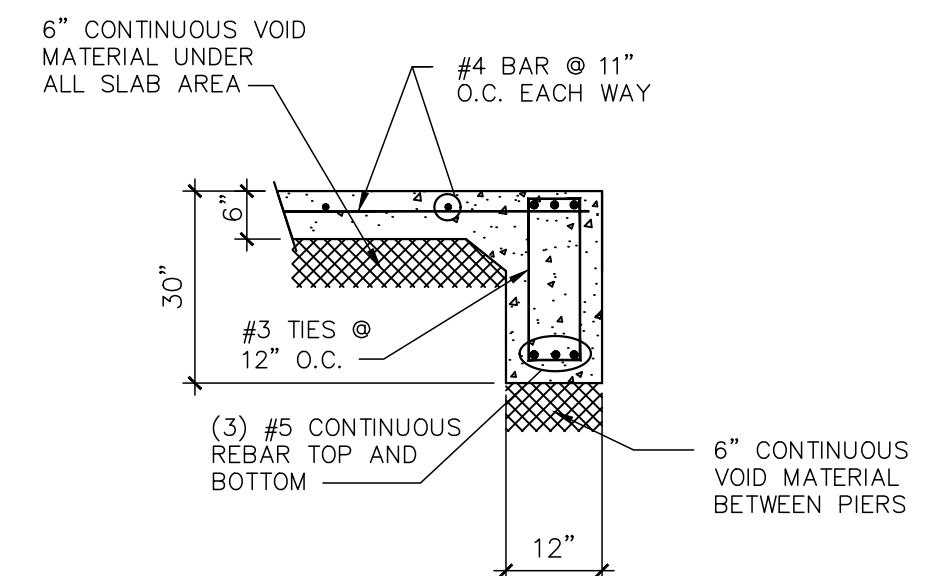
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DRAWN BY:	SS
DATE:	01/06/2022
REVISION:	DATE:
REV 1	07/21/2022

SHEET No.

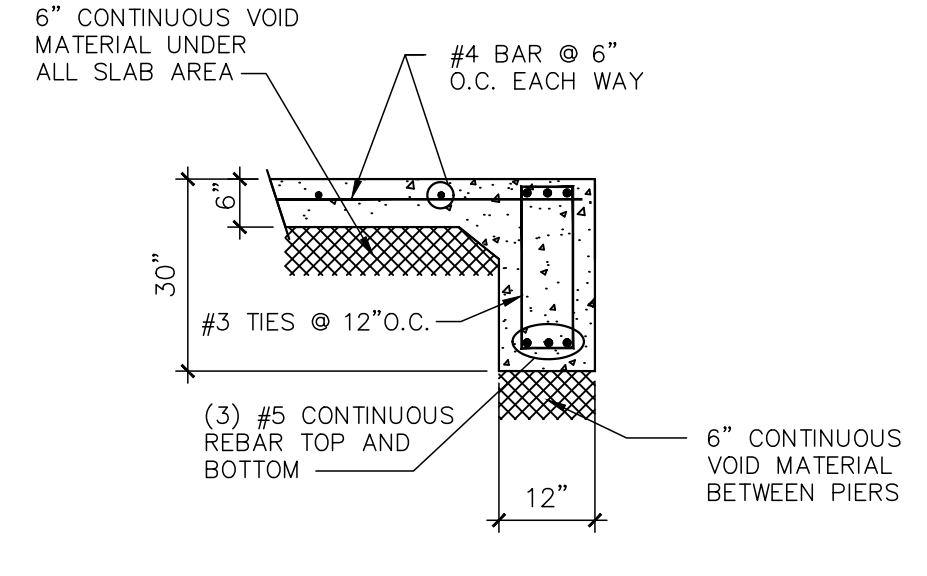
S5

6 OF 7

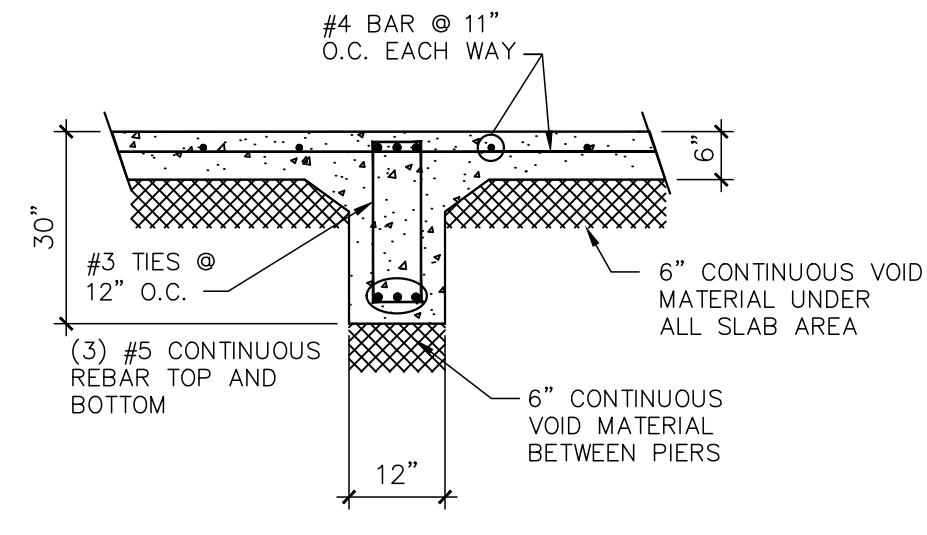
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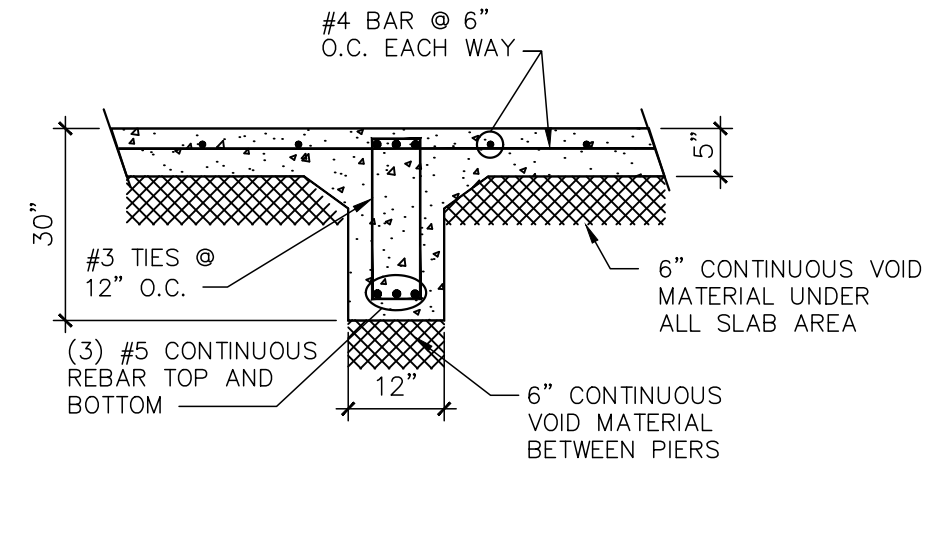
1
S6
DETAIL
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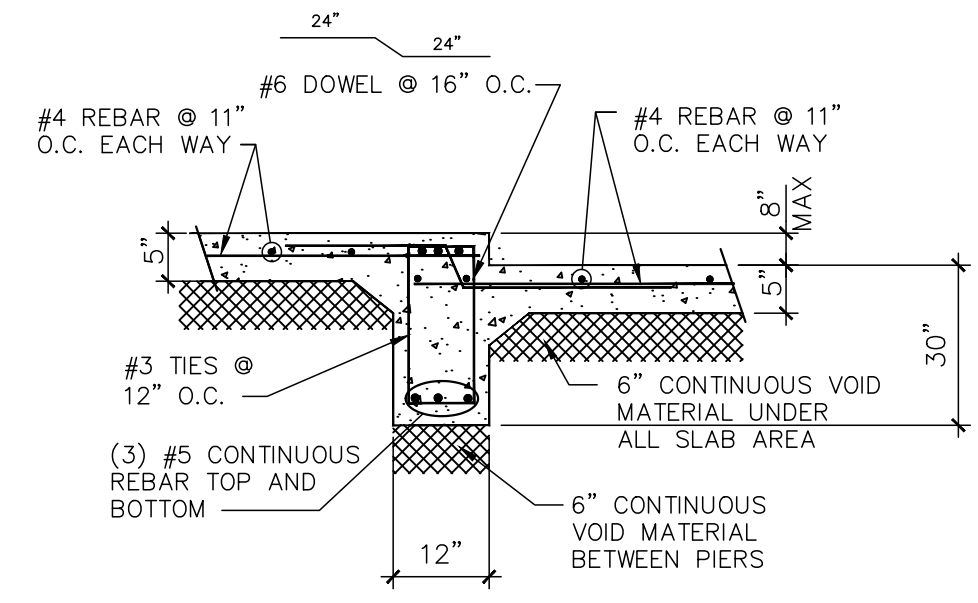
2
S6
DETAIL
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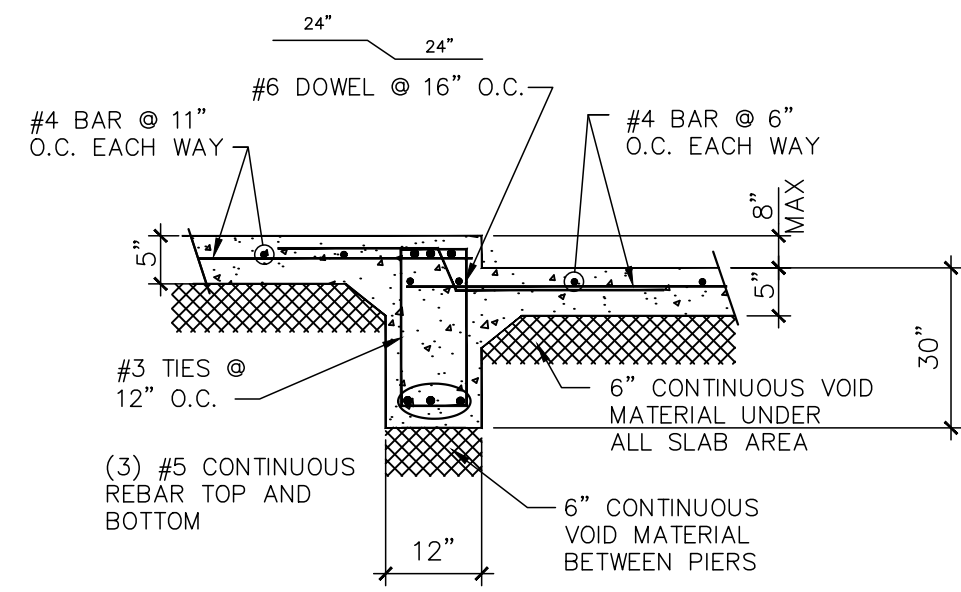
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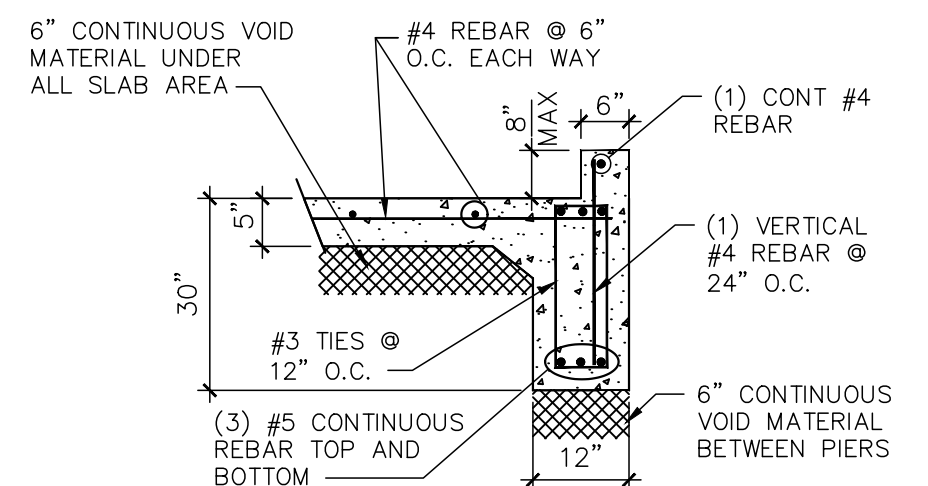
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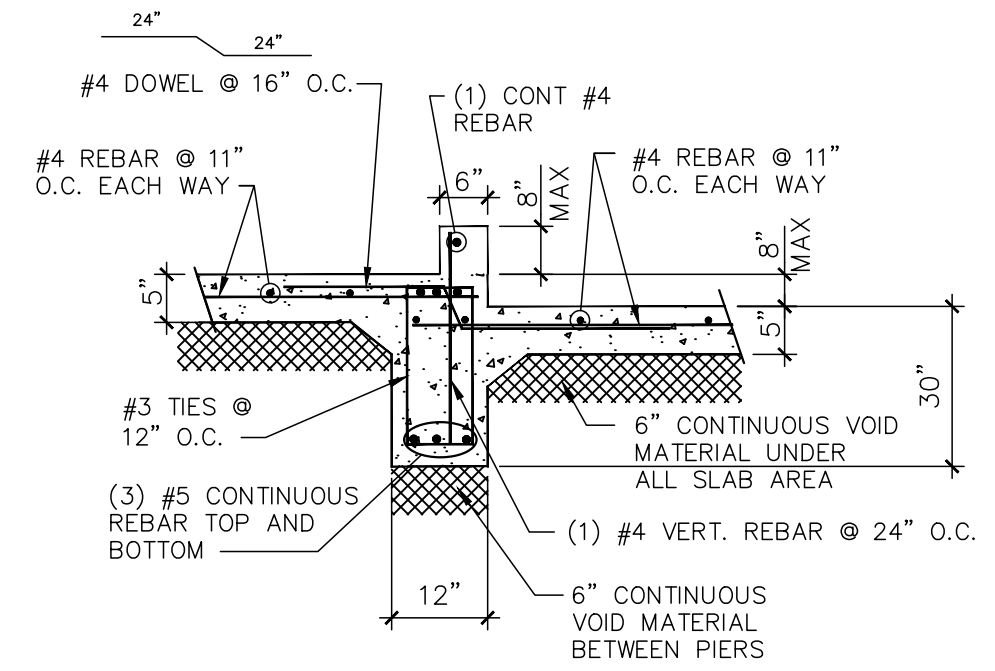
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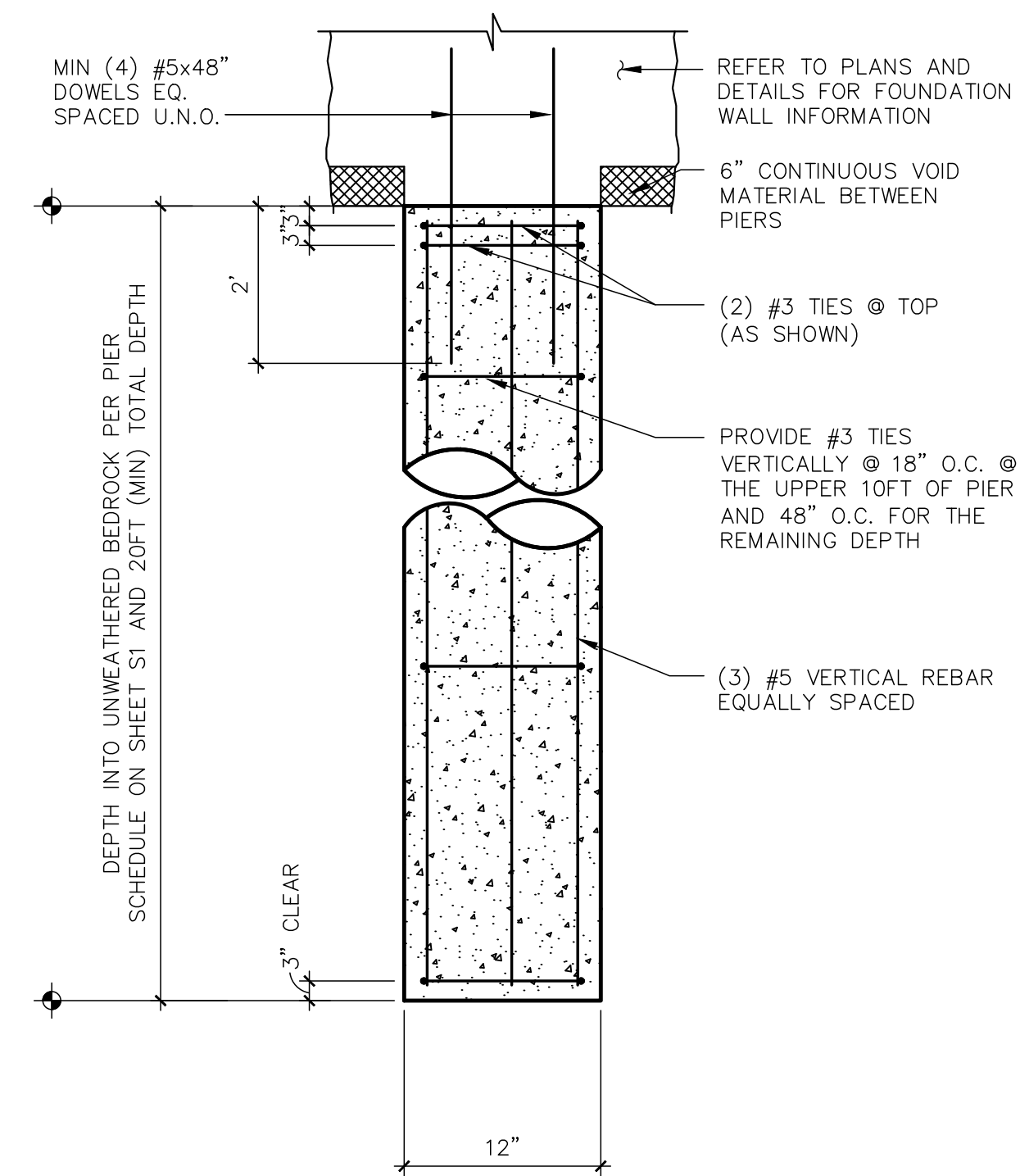
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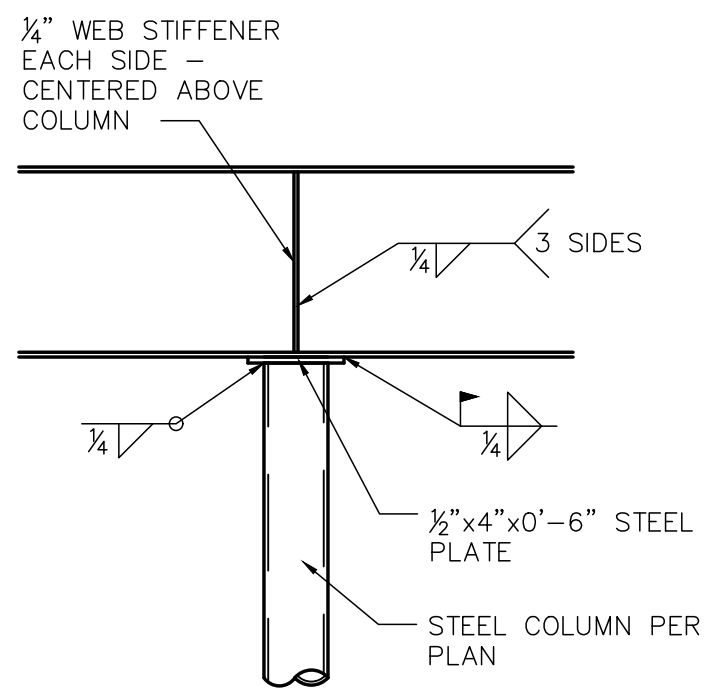
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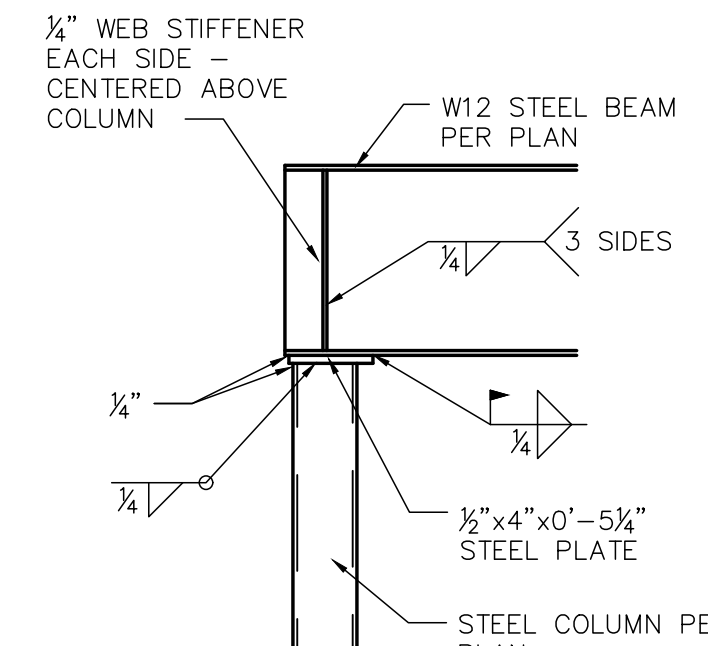
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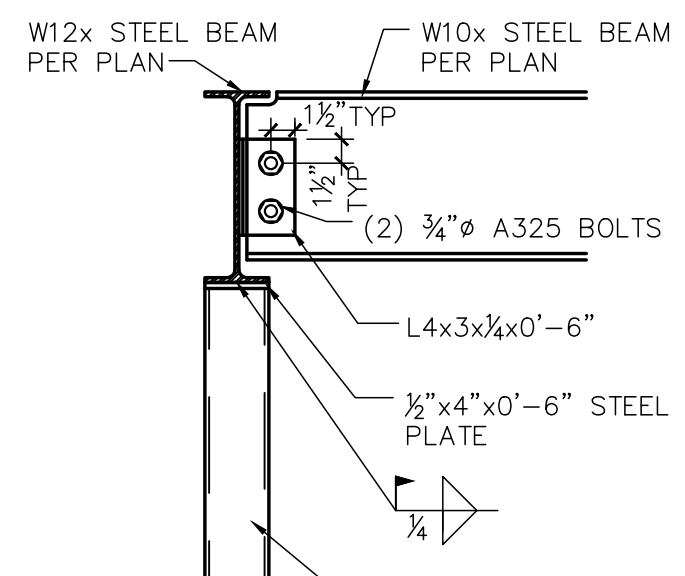
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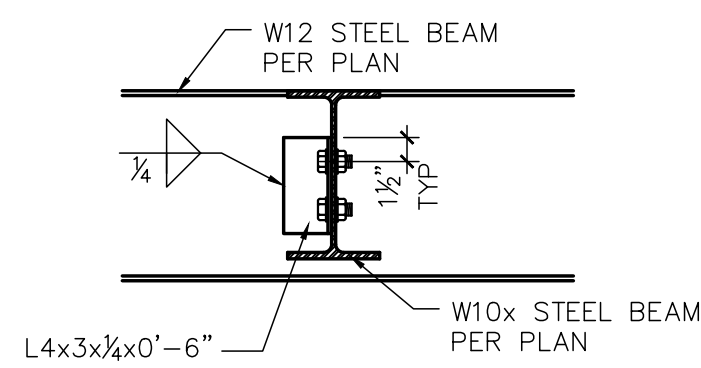
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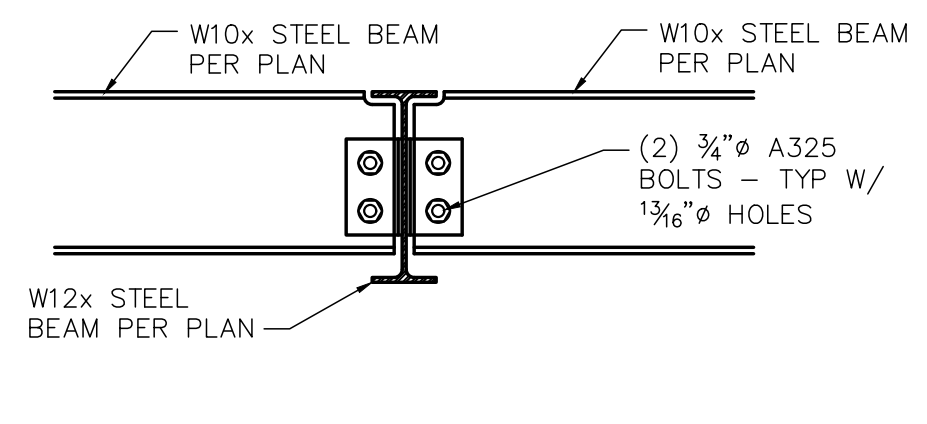
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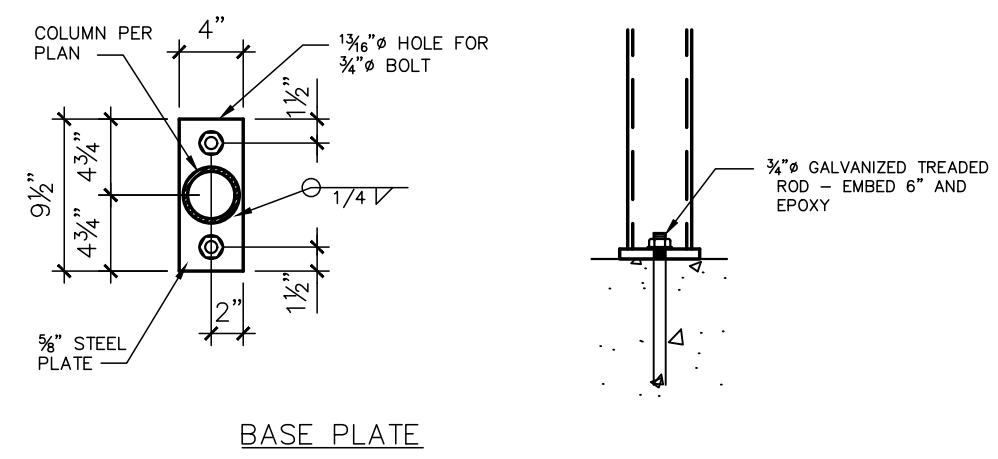
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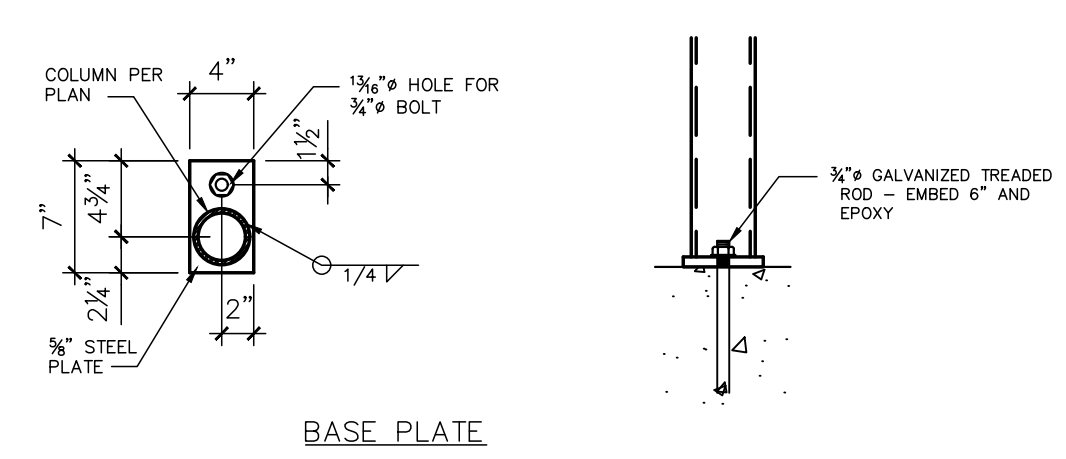
13
S6
DETAIL
SCALE: 1" = 1'-0"



14
S6
DETAIL
SCALE: 1" = 1'-0"



15
S6
DETAIL
SCALE: 1" = 1'-0"



16
S6
DETAIL
SCALE: 1" = 1'-0"

Issued For Construction

ENGINEER:	TA
DRAWN BY:	SS
DATE:	01/06/2022
REVISION:	DATE:
REV 1	07/21/2022

SHEET No.

S6

7 OF 7

PROJECT No. 45939

GREENWORKS
INSPECTIONS | ENGINEERING | ENVIRONMENTAL
CONCERGE AT YOUR SERVICE
600 N. Pearl Street, Suite S1900
Dallas, Texas 75201
(855) 349-6757

Stephanie M. Soloff
STATE OF TEXAS
STEPHANIE M. SOLOFF
119940
LICENSED
PROFESSIONAL ENGINEER

NEW RESIDENCE

3429 HAYNIE AVENUE

DALLAS, TEXAS

CIVIL CONSTRUCTION
(GRADING, DRAINAGE &
R.O.W. PLAN)
FOR
HAYNIE RESIDENCE
3429 HAYNIE AVE.
0.22 ± ACRE TRACT
DALLAS, DALLAS COUNTY, TX

Sheet List Table

C01.01	GRADING & DRAINAGE PLAN
C01.50	GRADING DETAILS
C02.01	R.O.W. PLAN



GRADING NOTES:

- ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE CITY OF DALLAS STANDARDS AND SPECIFICATIONS, AND TO THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION FOR NORTH CENTRAL TEXAS PREPARED BY THE NORTH TEXAS COUNCIL OF GOVERNMENTS, LATEST EDITION AND THE CITY OF DALLAS ADDENDUM THERETO.
- THE GEOTECHNICAL REPORT NO. 21.272 BY HOOPER GROUP, INC., DATED JUNE 7, 2021, IS CONSIDERED A PART OF THIS DOCUMENT. THE CONTRACTOR MUST REVIEW IT FOR CONSTRUCTION REQUIREMENTS. IF DIFFERENCES ARE NOTED BETWEEN THESE PLANS AND THE GEOTECHNICAL REPORT, THE REQUIREMENTS OUTLINED IN THE GEOTECHNICAL REPORT WILL GOVERN. THE CONTRACTOR MUST CONTACT THE OWNER, CIVIL ENGINEER, AND GEOTECHNICAL FIRM AND INFORM THEM OF ALL DISCREPANCIES AND PLAN MODIFICATIONS.
- AREAS AROUND THE PERIMETER OF THE BUILDING SHALL BE GRADED AT A (SLOPE) FOR (DISTANCE) TO ENSURE PROPER DRAINAGE AWAY FROM THE FOUNDATION.
- THE CONTRACTOR MUST REFER TO THE GEOTECHNICAL REPORT, FOUNDATION PLANS, AND LANDSCAPE PLANS FOR 1) ALL BACKFILL AND COMPACTION REQUIREMENTS, 2) FOUNDATION WATER PROOFING AND 3) UNDERDRAINS AND LANDSCAPE DRAINS AROUND THE PERIMETER OF THE BUILDING.
- GRADES SHOWN ON THE PLANS AROUND THE PERIMETER OF THE BUILDING ARE FINISHED GRADES AND ARE INCLUSIVE OF BEDDING MATERIAL FOR PROPOSED LANDSCAPE BEDS, TOPSOIL AND SOD FOR LAWN AREAS, AND PAVEMENT.
- SHOULD THE CONTRACTOR ENCOUNTER ANY UNUSUAL GEOLOGICAL CONDITIONS DURING THE CONSTRUCTION OF THE PROJECT, HE MUST NOTIFY THE GEOTECHNICAL ENGINEER FOR SUPPLEMENTAL RECOMMENDATIONS.
- ALL AREAS TO RECEIVE PAVING SHALL BE STRIPPED TO EFFECTIVELY REMOVE ALL VEGETATION, TOP SOIL, AND DEBRIS, IF PRESENT. DEBRIS SHALL BE DISPOSED OF LEGALLY OFFSITE. TOPSOIL SHALL BE STOCKPILED FOR LANDSCAPING PURPOSES.
- THE CONTRACTOR SHALL ESTABLISH INTERIOR DRAINAGE SWALES TO REMOVE RAINFALL FROM THE SITE. WATER MUST NOT BE ALLOWED TO POND IN TREE GRUB HOLES. THE SITE SHOULD BE GRADED SUCH THAT POSITIVE SURFACE DRAINAGE AWAY FROM THE WORK AREAS IS ESTABLISHED AND MAINTAINED AT ALL TIMES. WATER MUST NOT BE ALLOWED TO POND ON THE SURFACE DURING CONSTRUCTION.
- THE CONTRACTOR SHALL PROVIDE SEDIMENT AND EROSION CONTROL MEASURES AS REQUIRED BY THE CITY OF DALLAS THROUGHOUT THE CONSTRUCTION OF THE PROJECT. FILTER FABRIC FENCES WILL BE PLACED AT THE TOP AND TOE OF SLOPES. IN THE FLOW LINE OF DITCHES AND ALONG THE PERIMETER OF THE PROJECT, EROSION CONTROLS MUST REMAIN UNTIL LANDSCAPING IS COMPLETE AND GROUND COVER IS ESTABLISHED.
- ALL AREAS THAT WILL RECEIVE FILL SHALL BE PROOF-ROLLED TO IDENTIFY WEAK ZONES. ALL WEAK ZONES MUST BE REMOVED AND REPLACED PRIOR TO FILL PLACEMENT. THE ENTIRE AREA TO RECEIVE FILL SHALL THEN BE SCARIFIED AND RE-COMPACTED AS SPECIFIED IN THE GEOTECHNICAL REPORT.

NOTE:

- ALL EXISTING AND PROPOSED SIDEWALKS AND BARRIER FREE RAMPS COMPLY WITH TEXAS ACCESSIBILITY STANDARDS (TAS) AND AMERICANS WITH DISABILITIES ACT (ADA).
- ANY TRAFFIC CONTROL PLAN (TCP) MUST BE SUBMITTED TO THE DEPARTMENT OF PUBLIC WORKS FOR REVIEW AND APPROVAL BY TRAFFIC SAFETY COORDINATORS PRIOR TO START OF CONSTRUCTION. NO TRAFFIC LANE OR SIDEWALK ALONG ANY PUBLIC STREET OR ALLEY IS CLOSED WITHOUT FIRST OBTAINING THE APPROPRIATE PERMIT(S). CLOSURE OF ANY TRAFFIC LANE MUST BE RESTRICTED TO THE HOURS OF 9:30 A.M. TO 3:30 P.M. WORKDAYS (HOURS MAY DIFFER IN SCHOOL ZONES). CONTRACTOR MUST CALL (214) 948-4290 TO REQUEST APPROVAL OF TCP AND TO OBTAIN A RIGHT-OF-WAY PERMIT.

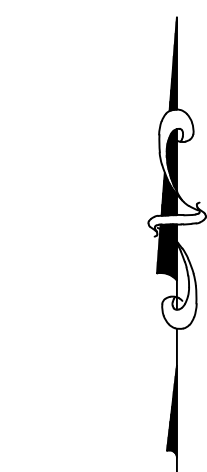
- LIMESTONE OR OTHER ROCK-LIKE MATERIALS USED AS FILL SHALL BE COMPACTED TO AT LEAST 95 PERCENT OF STANDARD PROCTOR MAXIMUM DRY DENSITY. NO INDIVIDUAL ROCK PIECES LARGER THAN 4 INCHES IN DIAMETER SHOULD BE USED AS FILL. ADDITIONALLY, NO ROCK FILL SHOULD BE USED WITHIN 1 FT BELOW THE BOTTOM OF FLOOR OR PAVEMENT SLABS.
- FILL MATERIALS SHOULD BE PLACED IN LOOSE LIFTS, 8 INCHES THICK, AND EACH LIFT COMPACTED TO A MINIMUM OF 95 PERCENT OF THE MAXIMUM DRY DENSITY AS DEFINED IN ASTM D 698 AT 95 PERCENT OF OPTIMUM MOISTURE CONTENT. EACH LIFT SHOULD BE INSPECTED AND APPROVED BY A QUALIFIED ENGINEERING TECHNICIAN, SUPERVISED BY A GEOTECHNICAL ENGINEER BEFORE ANOTHER LIFT IS ADDED.
- TESTING IS REQUIRED, AND SHALL BE PERFORMED BY A LABORATORY APPROVED BY THE ENGINEER/OWNER AND PAID FOR BY THE OWNER.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE AND PROTECT ALL PUBLIC UTILITIES, IN THE CONSTRUCTION OF THIS PROJECT. ALL MANHOLES, CLEANOUTS, VALVE BOXES, FIRE HYDRANTS, ETC., MUST BE ADJUSTED TO PROPER LINE AND GRADE BY THE CONTRACTOR PRIOR TO AND AFTER THE PLACING OF PERMANENT PAVING.
- THE CONTRACTOR MUST MEET THE REQUIREMENTS OF THE TEXAS POLLUTANT DISCHARGE ELIMINATION SYSTEM GENERAL PERMIT NO. TXR 150000, ISSUED ON FEBRUARY 15, 2008. IF THE PROJECT WILL DISTURB MORE THAN 1.0 ACRES OF LAND, THE CONTRACTOR MUST PREPARE OR HAVE PREPARED A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AND ADHERE TO THE REQUIREMENTS OF THE PLAN.
- ALL WALLS, INCLUDING FOOTINGS, SHOULD BE LOCATED ENTIRELY WITHIN PRIVATE PROPERTY.

CITY OF DALLAS
INFRASTRUCTURE PLAN NOTES

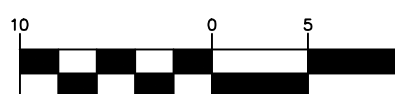
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- DURING THE CONSTRUCTION OF THESE IMPROVEMENTS, ANY INTERPRETATION OF THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION FOR NORTH CENTRAL TEXAS, AND ANY MATTER WHICH REQUIRES THE APPROVAL OF THE OWNER, MUST BE APPROVED BY THE DIRECTOR OF PUBLIC WORKS AND TRANSPORTATION OR HIS DESIGNEE BEFORE ANY CONSTRUCTION INVOLVING THAT DECISION COMMENCES. ASSUMPTIONS ABOUT WHAT THESE DECISIONS MIGHT BE WHICH ARE MADE DURING THE BIDDING PHASE WILL HAVE NO BEARING ON THE DECISION.
- FOR ADJUSTMENT OF DALLAS WATER UTILITIES APPURTENANCES OR TO VERIFY LOCATIONS OF EXISTING WATER AND WASTEWATER MAINS IN AREA, CALL (214) 670-1770 AT LEAST (3) THREE WORKING DAYS PRIOR TO CONSTRUCTION.
- STREETS, ALLEYS, SIDEWALKS, DRIVEWAYS, AND STORM DRAINAGE FACILITIES IN THE PUBLIC RIGHT-OF-WAY SHALL BE CONSTRUCTED IN CONFORMANCE WITH THE CITY OF DALLAS, STANDARD CONSTRUCTION DETAILS, FILE 2510-1, LATEST EDITION.
- ALL CONCRETE FOR PAVEMENT SHALL BE 4000 PSI FOR MACHINE FINISH AND 4500 PSI IF IT IS NECESSARY FOR HAND FINISH.

CONTRACTOR INFORMATION

CONTRACTOR UNIFORM CONSTRUCTION INC.
CONTRACTOR INFO ANDY ONDER YALTIR (832-610-8428)



GRAPHIC SCALE



(IN FEET)
1 inch = 10 ft.



TOCS
1-800-245-4545
tdticket@1-call.com

GRADING LEGEND

---	PROPERTY LINE	525.18±	MATCH EXISTING GRADE
- - -	EX. CONTOUR	525.18±	PROPOSED GRADE
---	CONTOUR	525.687C	TOP OF CURB
---	FLOW PATH	525.18±	GUTTER
---	DRAINAGE DIVIDE	525.18±	TOP OF WALL
---	SAWCUT PATH	525.18±	BOTTOM OF STAIRS
---	RETAINING WALL	525.18±	TOP OF STAIRS
(S)	EX. WASTEWATER MANHOLE		
---	GRADING, DRAINAGE AND LANDSCAPE IN HATCHED AREA TO BE DESIGNED BY OTHERS		
---	PR. STORM (SMALLER THAN 12" #)		

STORM SEWER NOTES:

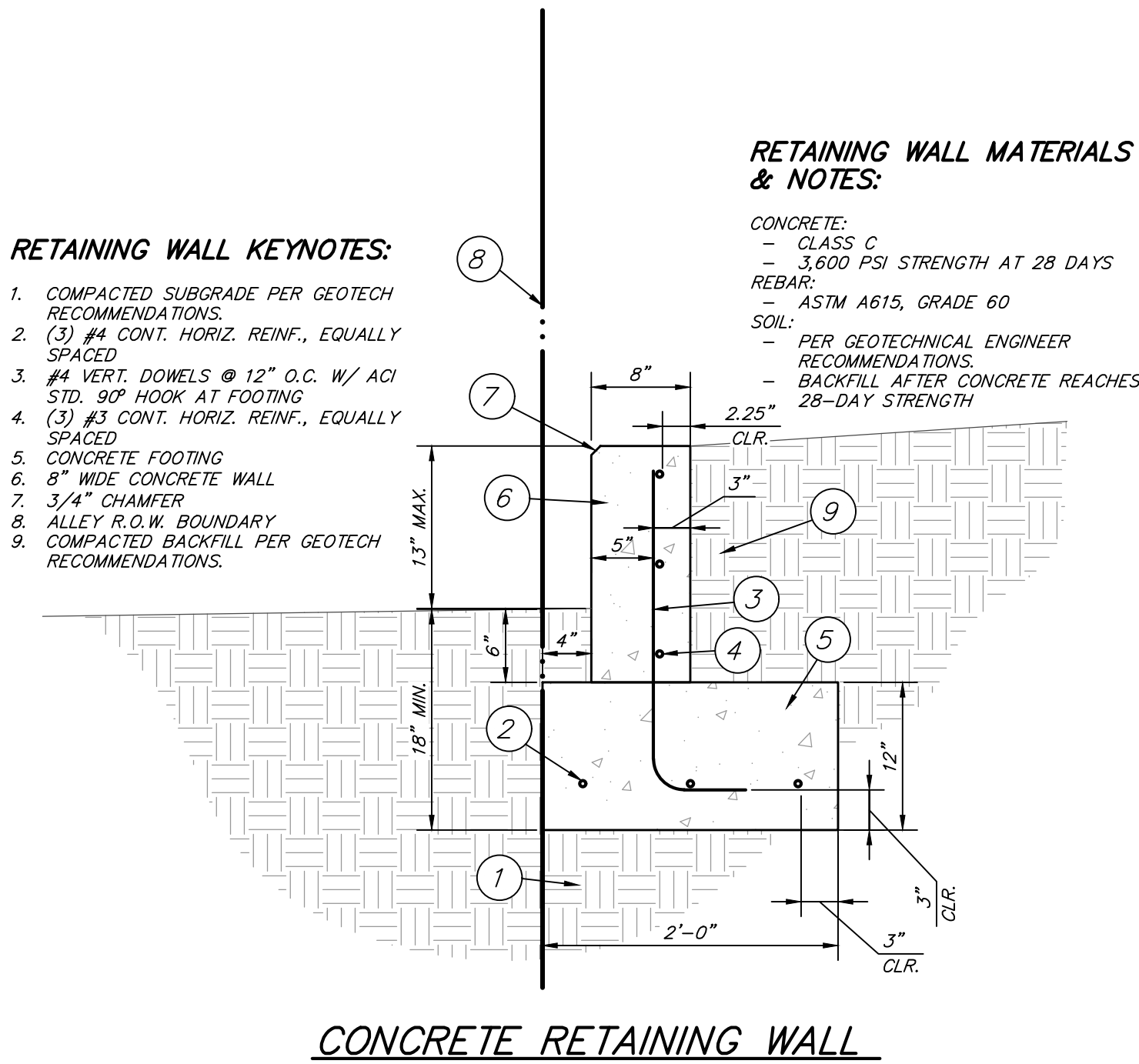
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- ADEQUATE DRAINAGE DURING CONSTRUCTION SHALL BE PROVIDED & MAINTAINED TO CONTROL SURFACE RUNOFF.
- PRECAST STRUCTURES MAY BE USED AT CONTRACTOR'S OPTION.
- CONTRACTOR SHALL VERIFY HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING STORM SEWER STRUCTURES, PIPES, AND ALL UTILITIES PRIOR TO CONSTRUCTION.
- EXISTING PIPES TO BE CLEANED OUT TO REMOVE ALL SILT AND DEBRIS.
- ALL STORM PIPE ENTERING STRUCTURES SHALL BE GROUTED TO ASSURE CONNECTION AT STRUCTURE IS WATERIGHT.
- ALL STORM SEWER MANHOLES IN PAVED AREAS SHALL BE FLUSH WITH PAVEMENT, AND SHALL HAVE TRAFFIC BEARING RING AND COVERS. LIDS SHALL BE LABELED "STORM SEWER."
- ALL PIPES AND STRUCTURES IN STREET RIGHT-OF-WAY, OR EASEMENTS SHALL BE PER THE CITY OF DALLAS STANDARDS AND SPECIFICATIONS.
- THE CONTRACTOR SHALL ADHERE TO ALL TERMS AND CONDITIONS AS OUTLINED IN THE EPA OR THE TEXAS POLLUTANT DISCHARGE ELIMINATION SYSTEM GENERAL PERMIT NO. TXR 150000 FOR STORM WATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES FOR THE PROJECT.
- ALL STORM STRUCTURES SHALL HAVE A SMOOTH, UNIFORM, POURED MORTAR INVERT FROM INVERT-IN TO INVERT-OUT.
- CONTRACTOR IS RESPONSIBLE FOR REPAIRS OF DAMAGE TO ANY EXISTING IMPROVEMENTS DURING CONSTRUCTION, SUCH AS, BUT NOT LIMITED TO, DRAINAGE, UTILITIES, PAVEMENT, STRIPING, CURBS, ETC. REPAIRS SHALL BE EQUAL TO OR BETTER THAN EXISTING CONDITIONS.
- REFER TO LANDSCAPE PLANS FOR ALL AREA DRAINS WITHIN COURTYARDS/DOG RUNS/LANDSCAPE AREAS FOR SPECIFICATIONS & ELEVATIONS.
- ALL STORM LATERALS SHALL BE 6" PVC & SLOPED AT 1% MIN, UNLESS OTHERWISE NOTED ON THIS SHEET.
- ADD RISERS TO STORM INLETS AS NEEDED TO ACHIEVE FINAL GRADE.
- ALL STORM DRAIN LINES MUST BE VIDEOED BY THE CONTRACTOR AFTER THE PAVING WORK ABOVE THE PIPE IS COMPLETE. PLEASE CONFIRM THAT THERE IS ADEQUATE ACCESS.

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FILE MODIFICATION: 06/21/2023 11:27 AM
LAST MODIFIED BY: MEBAM
PLOTTED ON: 06/20/2023 11:27 AM

APPROVED
CITY OF UNIVERSITY PARK
ALL CONSTRUCTION IS SUBJECT
TO FIELD INSPECTION AND APPROVAL
06/21/2023

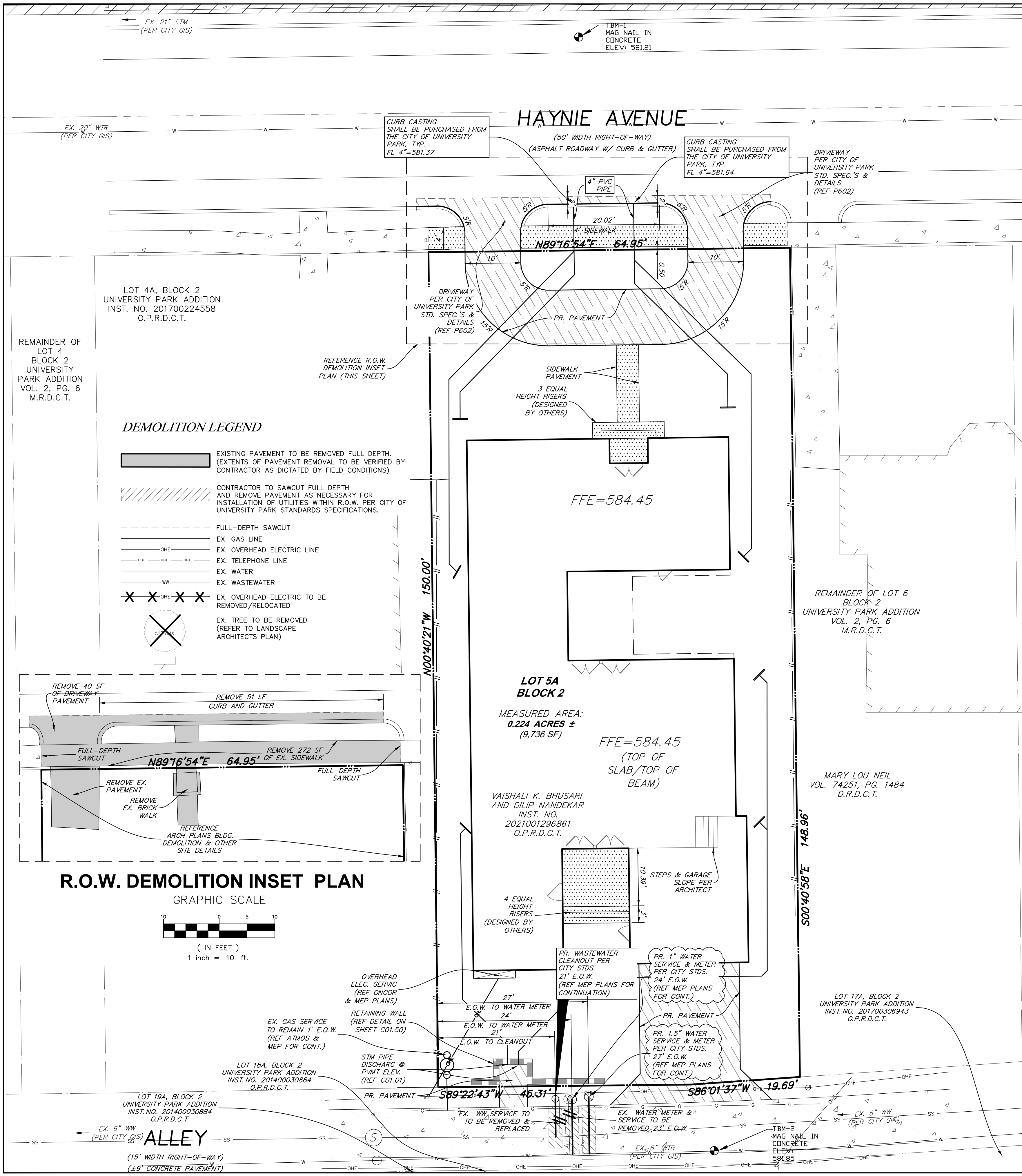


TOCS
1-800-245-4545
bdticket@1-call.com



ISSUED FOR CONSTRUCTION					
		BENCHMARK DATA: TBM-1 = MAG NAIL IN CONCRETE ELEV.: 581.21' TBM-2 = MAG NAIL IN CONCRETE ELEV.: 581.85'			
REVISIONS					
REV NO.	DATE	DESCRIPTION			BY
www.urbanstrategy.us TEL: 214-396.2339					
		4222 Main Street Dallas, Texas 75226 Firm Registration #F-22252			
PLAT NO.	BLDG PERMIT NO.	DEV ENGINEERING TRACKING NOS.			
SYYY-XXX	TBD	N/A		N/A	
GRADING DETAILS					
3429 HAYNIE AVENUE					
LOT 5A, BLOCK 2					
CITY OF UNIVERSITY PARK					
CITY OF DALLAS, DALLAS COUNTY, TEXAS					
REVIEW BY:	DRAWN BY:	DATE	FILE	NUMBER	SHEET
DEB	BMB	Jun. 14, 2023			C01.50

CONTRACTOR INFORMATION	
CONTRACTOR	UNIFORM CONSTRUCTION INC.
CONTRACTOR INFO.	ANDY ONDER YALTIR (832-610-8428)

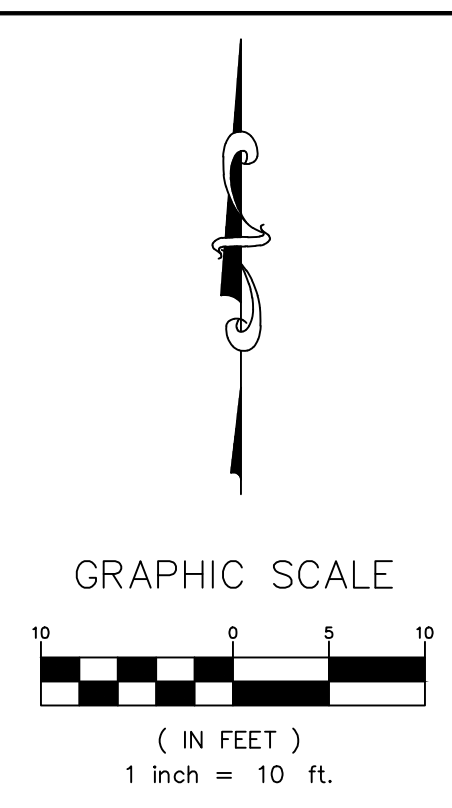


PAVEMENT LEGEND

- SIDEWALKS**
(PUBLIC & PRIVATE SIDEWALK AND HARDSCAPE AREAS) 4\"/>
- EXISTING CONCRETE PAVEMENT**
- PUBLIC & PRIVATE DRIVEWAY/STREET PAVEMENT**
6\"/>
- PROPOSED LANDSCAPING**
REFER TO LANDSCAPE ARCH PLANS

SITE PLAN / R.O.W. LEGEND

- PROPERTY LINE**
- SAWCUT PATH**
- RETAINING WALL**
- EX. ASPHALT PAVEMENT**
- EX. GAS**
- EX. OVERHEAD ELECTRIC LINE**
- EX. WATER LINE**
- EX. WASTEWATER LINE**
- EX. STORM DRAINAGE LINE**
- PR. WASTEWATER LINE**
- PR. WATER LINE**
- PR. OVERHEAD ELECTRIC LINE**
-
- PR. GAS LINE**
- EX. WASTEWATER MANHOLE**
- PR. WASTEWATER CLEANOUT**
- PR. WATER METER**
- GAS METER**

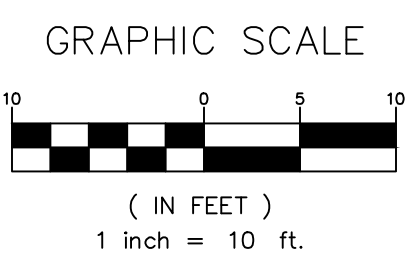


APPROVED
CITY OF UNIVERSITY PARK
ALL CONSTRUCTION IS SUBJECT
TO FIELD INSPECTION AND APPROVAL
Abdullah M. Moulton 06/21/2023

TOCS
1-800-245-4545
tcticket@1-call.com

CONTRACTOR SHALL
USE EXTREME CAUTION
WHEN EXCAVATING NEAR
EXISTING OVERHEAD
ELECTRIC OR GAS LINE

R.O.W. DEMOLITION INSET PLAN



CITY OF UNIVERSITY PARK
INFRASTRUCTURE PLAN NOTES

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- FOR ADJUSTMENT OF CITY OF UNIVERSITY PARK WATER UTILITIES APPURTENANCES OR TO VERIFY LOCATIONS OF EXISTING WATER AND WASTEWATER MAINS IN AREA, CALL (214) 987-5400 AT LEAST (3) THREE WORKING DAYS PRIOR TO CONSTRUCTION.
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CONTRACTOR **UNIFORM CONSTRUCTION INC.**
CONTRACTOR INFO. **ANDY ONDER YALTIR (832-610-8428)**

ISSUED FOR CONSTRUCTION			
		BENCHMARK DATA: TBM-1 = MAG NAIL IN CONCRETE ELEV.: 581.21' TBM-2 = MAG NAIL IN CONCRETE ELEV.: 581.85'	
REVISIONS			
REV NO.	DATE	DESCRIPTION	BY
www.urbanstrategy.us		TEL: 214-396.2339	
		4222 Main Street Dallas, Texas 75226 Firm Registration #F-2252	
PLAT NO.	BLDG PERMIT NO.	DEV ENGINEERING TRACKING NOS.	
SYYY-XXX	TBD	N/A	N/A
R.O.W. PLAN / PAVING PLAN			
3429 HAYNIE AVENUE			
LOT 5A, BLOCK 2			
CITY OF UNIVERSITY PARK			
CITY OF DALLAS, DALLAS COUNTY, TEXAS			
REVIEW BY:	DRAWN BY:	DATE	SHEET
DEB	BMB	Jun. 16, 2023	C02.01

FILE NAME: C:\WORK\PLANNING\...
FILE LOCATION: S:\INFORMATION\...
LAST MODIFIED BY: M. Moulton
LAST MODIFIED DATE: 6/16/2023 12:38 PM
PLOTTED ON: 6/16/2023 12:38 PM



APPROVED
CITY OF UNIVERSITY PARK
ALL CONSTRUCTION IS SUBJECT
TO FIELD INSPECTION AND APPROVAL

04/28/2023

City of University Park
Residential Energy Compliance Path
Energy Code Requirements of the 2015 IRC (IECC)
Submit with application for a building permit

Project Address: 3429 Haynie Avenue

Energy Contractor Energy IQ

N1101.13 (R401.2) – Projects shall comply with one of the following:

☐ **Option #1a – Prescriptive: Sections N1101.14 (R401) through N1104 (R404):**

N1102 (R402) Building Thermal Envelope. (Using table N1102.1.2 (R402.1.2) INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT)

N1103 (R403) Systems.

N1104 (R404) Electrical Power and Lighting Systems (Mandatory).

Plus all mandatory provisions

☐ **Option #1b – Prescriptive-Using REScheck™ UA approach Only: Sections N1101.14 (R401) through N1104 (R404):**

N1102 (R402) Building Thermal Envelope.

N1103 (R403) Systems.

N1104 (R404) Electrical Power and Lighting Systems (Mandatory).

Plus all mandatory provisions

☐ **Option #2 – Section N1105 (R405) Performance Approach**

Plus all mandatory provisions

☐ **Option #3 – ENERGY STAR Certified Homes®**

☒ **Option #4 – Section N1106 (R406) Energy Rating Index Compliance Alternative**

Minimum envelope requirements \geq Table 402.1.2 or 402.1.4 – 2009 IECC

Plus all mandatory provisions

☐ **Option #5 – ESL 4ACH⁵⁰ Tradeoff Code Equivalency Compliance^a**

Envelope Component	Option #1	Option #2
R402.4 Air Leakage	$\leq 4\text{ACH}^{50}$	$\leq 4\text{ACH}^{50}$
Wall Insulation Value	$R13 + R3^b$	$R13 + R3^b$
Fenestration U-factor/SHGC	$\leq 0.32/0.25$	$\leq 0.32/0.25$
Ceiling R-value	$\geq R49$	$\geq R49$
Duct Insulation	R8	R6
Radiant Barrier Required	No	Yes

^a Except for the values listed in the table, all other mandatory code provisions are applicable.

^b First value is cavity insulation, second is continuous insulation or insulated siding.

NOTE: Attach appropriate compliance option “compliance report”

I certify that I have reviewed the construction documents including, but not necessarily limited to, insulation materials and R-values; fenestration U-factors and SHGC values; area-weighted average U-factor and SHGC calculations; mechanical system design criteria; mechanical and service water heating system and equipment types, sizes and efficiencies; equipment and system controls; duct sealing, duct and piping insulation and location; and air sealing details; and that the project as designed satisfies the minimum requirements for the compliance approach selected above.

Print Name: Craig Senglin

Sign Name:

Date: 04/27/2023

Single Family House Energy Report

Project Details

Project Name: 3429 Haynie Ave
Builder Name: Ebenezer Builders LLC
Builder Phone: (267) 912-4400
Builder Email: stanly@ebenezerusa.com
Address: 3429 Haynie Ave
City: UNIVERSITY PARK
County: DALLAS
Zip: 75205

Certificate #: 1281851
Date Issued: 1/30/2023

Notes:

Emissions Reduction

NOx: 15 lbs.
SOx: 39 lbs.
CO2: 26,893 lbs.



57
ERI

This single family residential project was found to be in compliance with the performance measures described in the 2015 IECC as calculated by the Energy Systems Laboratory, a division of the Texas A&M Engineering Experiment Station using IC3 version 4.5.10



ENERGY SYSTEMS LABORATORY
TEXAS A&M ENGINEERING EXPERIMENT STATION

The values produced are generated by the DOE-2 building energy analysis program. These values do not constitute a guarantee of actual energy usage by ESL or TEES.

Authorized Signature:

Project Information

04/28/2023

Number of Bedrooms: 5

Wall Cavity Insulation: R- 19

Wall Continuous Insulation: R- 0

Orientation: North

Windows

SHGC: 0.23

U-Factor: 0.29

Roof

Cladding Type: Composite Shingle

Radiant Barrier: Yes

Sealed Attic: No

Roof Insulation: R - 30

Attic Area: 3200 sq. ft.

Cathedral Ceiling Area: 0 sq. ft.

Flat Roof Area: 0 sq. ft.

Wall Area Next to Attic: 0 sq. ft.

Foundation

Foundation Type: Slab on Grade

Foundation Insulation: R- 0

A/C

SEER: 17

Tonnage: 6

Structural

Exterior Finish: Stucco

Stud Type: 2 x 6

Stud Spacing: 16 in.

Mechanical

Blower Door Test: 3 @ACH50

Ventilation Type: Supply Only

Ventilation Rate: 200 CFM

Ventilation Operation: 12 hrs.

Fan Power: 0 Watts

Fraction Outside: 0.5

Duct Tightness Test: 200 @CFM25

Supply Duct Insulation: R - 6

Return Duct Insulation: R - 6

Heating

Heating Type: Natural Gas

Heating Efficiency: 0.91 AFUE

Water Heater

Water Heater Type: Natural Gas

Energy Factor: 0.91

Size: N/A

Burner Capacity: N/A

Floor 1

Floor Area: 3200 sq. ft.

Floor Wall Height: 12 ft.

Front Side Length: 50 ft

Right Side Length: 95 ft

Front Side Window Area: 216 sq. ft.

Right Side Window Area: 148 sq. ft.

Front Side Shading: 0 in

Right Side Shading: 0 in

Back Side Length: 50 ft

Left Side Length: 95 ft

Back Side Window Area: 103 sq. ft.

Left Side Window Area: 214 sq. ft.

Back Side Shading: 0 in

Left Side Shading: 0 in

Floor 2

Floor Area: 2120 sq. ft.

Floor Wall Height: 11 ft.

Front Side Length: 48 ft

Right Side Length: 63 ft

Front Side Window Area: 272 sq. ft.

Right Side Window Area: 64 sq. ft.

Front Side Shading: 18 in

Right Side Shading: 18 in

Back Side Length: 48 ft

Left Side Length: 63 ft

Back Side Window Area: 104 sq. ft.

Left Side Window Area: 119 sq. ft.

Back Side Shading: 18 in

Left Side Shading: 18 in

Area over Unconditioned: 0 sq. ft.



Refrigerator High Efficiency: 90 %

Lighting: % outdoor High-Efficiency: 90 %

Dishwasher Capacity: 12 settings

Dishwasher Energy Factor: 0.46

Range Fuel Type: Gas

Induction Range: N/A

Convection Oven: No

Clothes Dryer Fuel Type: Electric

Clothes Dryer Type: Timer

Clothes Dryer Energy Efficiency: 3.01

Refrigerator: Annual Energy Use: 691 kWh/yr

Clothes Washer Energy Rating: 704 kWh/yr

Clothes Washer Electric Rate: 0.08 \$/kWh

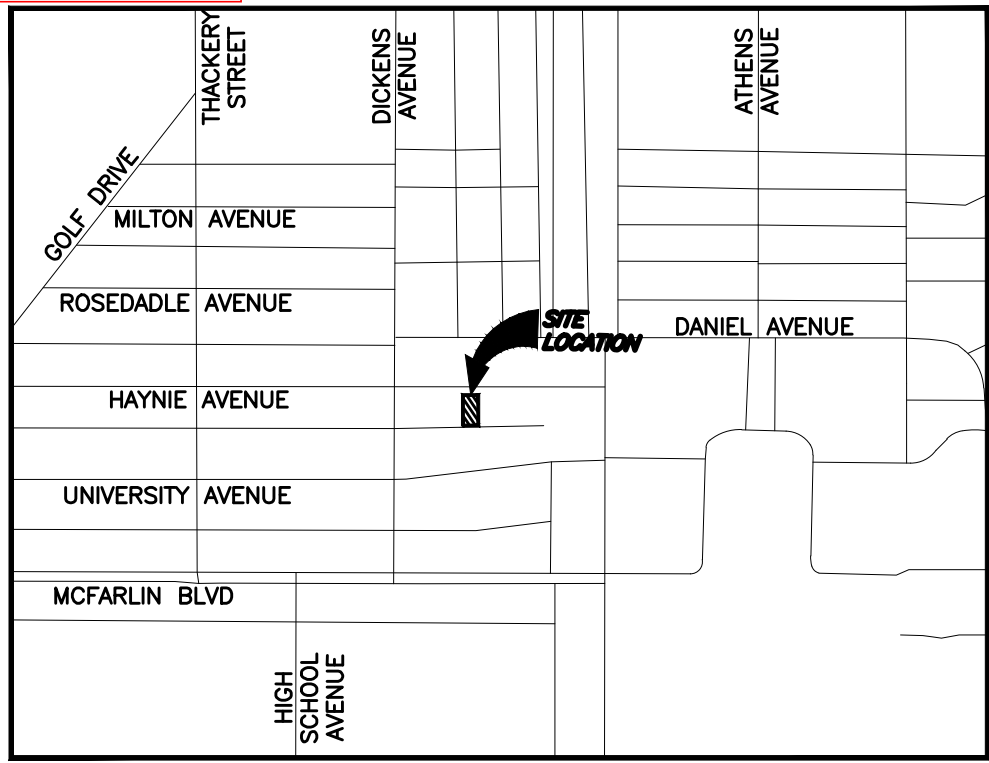
Clothes Washer Annual Gas Cost: 23 \$/yr

Clothes Washer Natural Gas Rate: 0.58 \$/therm

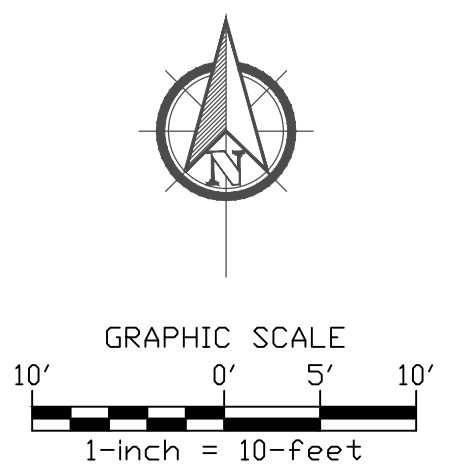
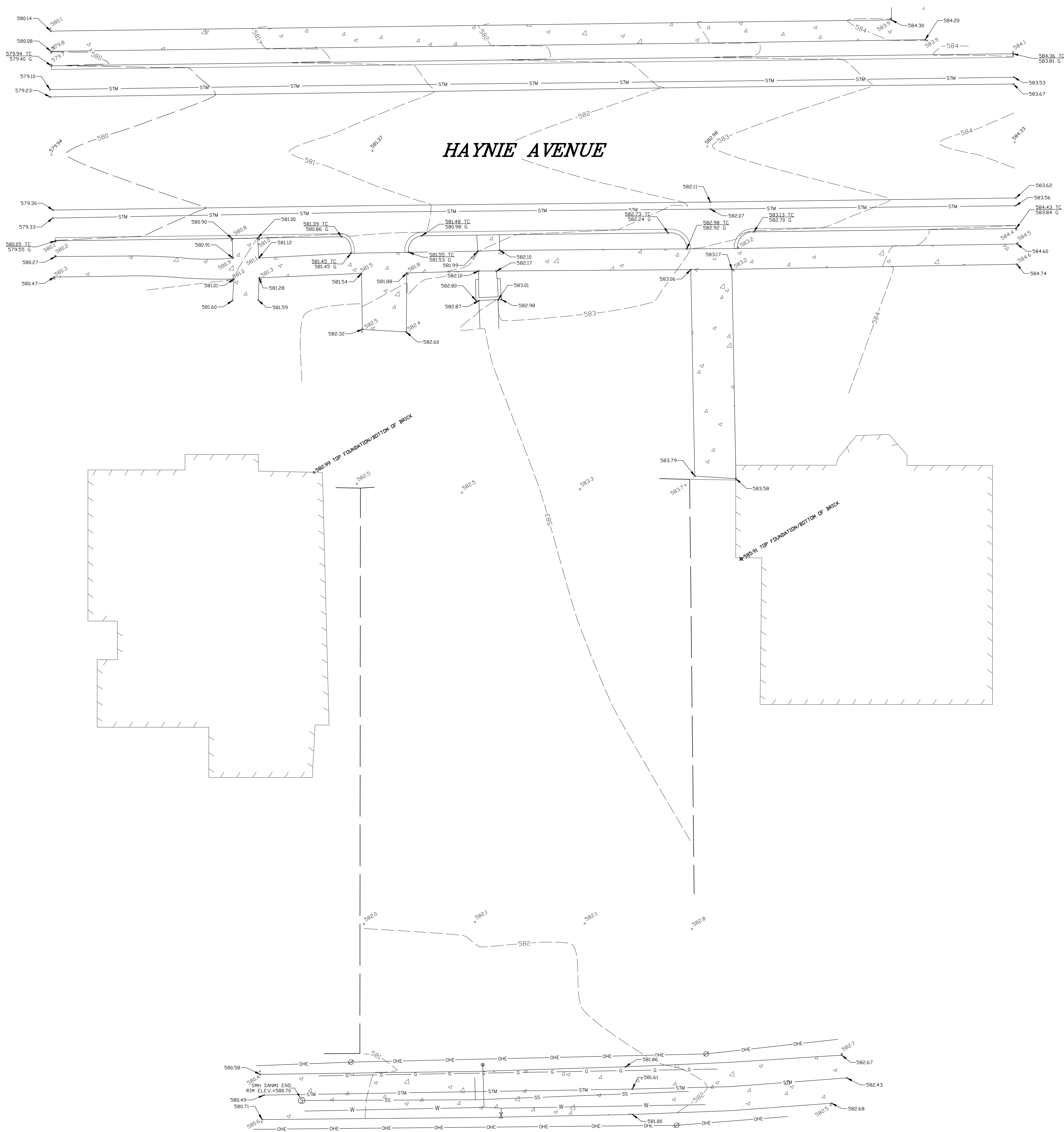
Clothes Washer Capacity: 2.874 ft³

Clothes Washer MEF: 0.817

Programmable Thermostat: Yes



VICINITY MAP
(NOT TO SCALE)



GENERAL NOTES

1. All bearings, distances, and coordinate values shown hereon are grid based coordinates based on the Texas Coordinate System of 1983, North Central Zone (4202), U.S. survey feet, North American Datum of 1983, as derived by GNSS from the Trimble RTK Network.
2. Not all lot lines outside of the boundary of the subject property show hereon have been surveyed and are shown as graphical depiction based on recorded information and tax maps.
3. Vertical datum is NAVD88 Geoid12b, as derived by GNSS from Alterra Trimble RTKNet Network.
4. The survey was performed without the benefit of a title commitment, abstract of title, or title report. The property could be subject to easements not shown hereon.

LEGEND OF SYMBOLS & ABBREVIATIONS

- XXX.X SPOT ELEVATION
NG NATURAL GROUND
TC TOP CURB
G GUTTER
FL FLOW LINE
Ø POWER POLE
⊗ SANITARY SEWER MANHOLE
⊕ STORM DRAIN MANHOLE
⊗ WATER METER
X WATER VALVE
○ TREE
- STREET CENTERLINE
--- OHE OVERHEAD ELECTRIC LINE
--- SS SANITARY SEWER LINE
--- STM STORM-RAIN LINE
--- W WATER LINE
--- G GAS LINE
--- WOOD FENCE



TOPOGRAPHIC SURVEY

3429 HAYNIE AVENUE, DALLAS, TX 75205
LOTS 5, BLOCK 2
CITY OF UNIVERSITY PARK, DALLAS COUNTY, TEXAS

